



Design Review Board

Cordillera Design Guidelines

Amended November 2020

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SECTION 1.01.00. INTRODUCTION

With its rich contrasts in views, terrain, vegetation, and micro-environments, Cordillera's natural setting exemplifies the central Rocky Mountains of Colorado. The 7000-acre development offers high elevation environments unique to the Eagle River Valley, with distant panoramas of snow-covered peaks, forests of aspen, spruce and subalpine fir, high mountain meadows, and lower elevation landscapes of sage, juniper, pinion, and stately Douglas Fir.

Cordillera is an established community that showcases custom homes of the highest quality; each designed to complement its natural setting and neighborhood, and each responding to the preferences, tastes, and lifestyles of individual owners. Four distinctly different communities, the Divide, the Ranch, the Summit, and the Territories provide property owners with unique settings and lifestyle options. Home designs in each community reflect both traditional and modern interpretations of Cordillera's design themes, as further defined by these design guidelines.

1.01.01 Purpose

Cordillera's Design Guidelines have been adopted by the Cordillera Community to ensure the following:

1. An efficient and effective review and approval process;
2. The preservation and enhancement of outstanding views, landforms, vegetation, and wildlife habitats;
3. Visual harmony and compatibility between the built and natural environments, and within developed neighborhoods;
4. The continuation of Cordillera's unique image and reputation for quality;
5. The appropriate integration of emerging architectural styles, methods and materials, providing opportunity for architectural diversity and personal expression within the context of stated design expectations;
6. Construction activities implemented in manner sensitive to community expectations and values;
7. The efficient use of energy and water resources, and;
8. The preservation and enhancement of property values.

1.01.02 Authority

All new buildings, modifications to existing buildings, landscaping, site improvements and the use of property within Cordillera are reviewed and approved according to these Design Guidelines, established under Article XI of the Amended and Restated Declaration of Protective Covenants, Conditions and Restrictions for Cordillera, as amended (CPOA Covenants). The Guidelines must be followed by individuals who construct, reconstruct, refinish, alter, or maintain any improvement upon the Property, or make any change in the natural or existing surface, drainage, or plant life. Alterations that are completely within a building and that do not change the exterior appearance of a structure may be undertaken without DRB approval.

1.01.03 Other Governing Documents and Codes

The following list of codes, regulations and other documents, as the same may be amended from time to time, are provided for informational purposes only, and serve as examples of other governing regulations that may apply to the development of property in Cordillera:

- Cordillera Enclave supplemental design guidelines, where applicable (Bearcat, Bent Grass, etc.)
- Cordillera Design Review Board Construction Rules and Regulations
- Cordillera Planned Unit Development (PUD) Control Document (county zoning)
- CPOA Covenants
- Eagle County Land Use Regulations
- Eagle County Wildfire Regulations
- Uniform Building Code (or applicable building codes as adopted by Eagle County)
- Uniform Mechanical Code (or applicable mechanical codes as adopted by Eagle County)

- Uniform Plumbing Code (or applicable plumbing codes as adopted by Eagle County)
- Uniform Fire Code
- National Electrical Code (or applicable electrical codes as adopted by Eagle County)
- NFPA 101 Life Safety Code
- ANSI A117.1 – Accessibility Standards for Buildings and Facilities

SECTION 1.02.00. DESIGN REVIEW BOARD ORGANIZATION

The Cordillera Design Review Board (DRB or Board) has been appointed to implement these Guidelines and assist owners with the design review process. Any questions regarding active projects and the authority of the DRB should be directed to the DRB Administrator.

1.02.01 Design Review Board Membership

- A. **Membership.** The DRB consists of three to five members appointed by the Board of Directors of the Cordillera Property Owners’ Association (CPOA). Members of the DRB need not be members of the CPOA.
- B. **Term of Office.** The regular term of office for each DRB member is three years, with a maximum of nine (9) consecutive years. Any member may be removed by the CPOA Board at any time by written notice. A successor to fill a vacancy will serve the remainder of the term of the former member. A DRB member may resign at any time by providing written notice to the DRB and CPOA Board.
- C. **Alternates.** At its discretion, the CPOA Board may designate one or more alternate member(s) (alternates) to serve on the DRB. Alternates may attend and participate fully in any scheduled DRB meeting and will have the full authority of a DRB member when their presence is required to achieve a quorum. In those instances when the alternate’s presence is not required to achieve a quorum, their vote will be counted as concurring or dissenting but will not count for purposes constituting formal action.¹

1.02.02 Operating Procedures

- A. **DRB Structure.** The DRB elects its own chair from among its members. The Chair serves as the presiding officer of DRB meetings. In the absence of the Chair the members present shall appoint a member to serve as acting Chair.
- B. **Quorum and Voting.** The presence of three members constitutes a quorum for transacting all DRB business. The affirmative vote of a majority of the quorum of the DRB present constitutes the action of the DRB on any matter before it. In the absence of a quorum, DRB meetings will be adjourned to a later time or date as determined by the Chair.
- C. **Conflict of Interest.** A DRB member who has a conflict of interest with respect to a matter pending before the DRB must publicly disclose the conflict during a regularly scheduled meeting before the review of and/or taking any action on the matter in question. At the discretion of the Chair, the member may be disqualified from participating in deliberations and voting on the matter in question.

¹*Alternates shall be designated in order of priority. If a regular member is absent from a DRB meeting, the first designated alternate (or the second designated alternate if the first designated alternate is not available) substitutes for such DRB member and is authorized to act in his or her place. If a quorum requires two alternates, the first designated alternative and the second designated alternate may substitute for absent DRB members and act in their places. If a quorum requires one alternate member and two alternate members that have not previously been provided order of priority are present, the Chair shall appoint priority for the purpose of voting at the beginning of the DRB meeting.*

- D. **Meetings.** DRB meetings are held upon call of the Chair and are open to the public. Meetings are scheduled on the second Tuesday of the month and are conducted at the Cordillera Administration offices at 0408 Carterville Road. As situations warrant, meetings may be conducted online or with members calling in, at the discretion of the Chair. Agendas are posted at the Cordillera Administration offices and available for review on the Cordillera website-24 hours before a scheduled meeting. DRB meetings are conducted in an orderly, timely and focused manner. The Chair oversees the discussion and, after deliberations, calls for a voice vote from members present to approve, deny or table matters brought before the Board. The Cordillera Design Review Board Code of Conduct is attached to this document as Exhibit A.
- E. **Submittal Deadlines.** Hard copies and electronic copies of plans must be delivered to the DRB Administrator at 0408 Carterville Road by noon on the fourth Thursday of the month preceding the scheduled DRB meeting. If the fourth Thursday falls on a holiday, the submittal deadline is the fourth Wednesday of that month. There are no exceptions. All architectural drawings must be in CAD form and prepared and stamped by a licensed architect. Landscape plans must also be drawn and stamped by a professional landscape architect.
- F. **Incomplete Submittals.** Applicants will be advised of the adequacy of submittals four (4) days following the submittal deadline. Minor deficiencies in submittal contents may be remedied by the applicant within 24 hours of notification. Incomplete submittals will not be placed on the agenda.
- G. **Changes Presented at DRB Meetings.** New information or changes to plans presented at a DRB meeting that were not included in the submittal package may or may not be accepted by the DRB, as information or changes have not undergone staff review, and are not reflected in the staff report for the project. If changes are not accepted, review of the project will be tabled to the next available meeting.
- H. **Additional Meetings.** As indicated on the fee schedule (See Exhibit B), payment for preliminary review covers the cost of a second preliminary review if necessary. One meeting is allowed for Sketch and Final Plan reviews. An applicant will be charged for additional meetings, unless otherwise directed by the Board. Failure by an applicant to attend their allotted agenda time at a DRB meeting requires a new application and payment for an additional meeting. Repeatedly ineffective responses to requests by the DRB may result in the disqualification of a design proposal from further review.
- I. **Record of Decision.** All decisions by the DRB are recorded in the written minutes of the meeting. Approved minutes are posted on the Cordillera website.
- J. **Owner's Right to Appeal.** As provided by the CPOA Covenants, a property owner may request reconsideration of a decision by the DRB. In these situations, the following fees, timelines and procedures apply:
1. A fee of \$500 is required for a request for reconsideration;
 2. The request for reconsideration must be submitted in writing within 30 days of the decision by the DRB and must include rationale for the request;
 3. The DRB will render a written decision within 30 days of receipt of the request listing reasons for the DRB's decision;
 4. The owner may appeal the DRB's decision on reconsideration to the CPOA Board;
 5. A fee of \$500 is required for an appeal to the CPOA Board, and;
 6. Information on appeals to the CPOA Board is found in Section 9.10 of the CPOA Covenants.

1.02.03 Duties and Powers

- A. **Effective Guidance.** The DRB serves as an adjunct of the CPOA. In addition to being responsible for the review and approval of designs and projects, the DRB works continuously to ensure Design Guidelines reflect the needs and values of the Cordillera community and are responsive to evolving trends in the design and building industry.
- B. **Review Required.** All plans for site preparation, building construction, landscaping and site modifications, modifications to the exterior of buildings, alterations or enlargement of an existing structure, paving, fencing, sign erection or other improvements must receive written approval from the DRB. Approval from the DRB must be received before initiating any of the above activities. In addition to DRB approval, proposed alterations to homes within a Cordillera Enclave must also receive approval from that Enclave's homeowners association.
- C. **Review not Required.** Alterations or remodeling of existing improvements that are completely within a building and that do not change the exterior appearance of a structure may be undertaken without DRB approval. All construction projects, interior or exterior, will be subject to Cordillera's Construction Rules and Regulations. Please contact the DRB Administrator for additional information.
- D. **Sole Discretion.** The DRB has sole discretion to approve or deny any proposed improvement or development in Cordillera. The Board uses and interprets the Design Guidelines as the primary basis for evaluating improvement proposals. DRB approvals will not be unreasonably withheld. DRB actions taken will not be arbitrary or capricious. DRB decisions are conclusive and binding on all interested parties, subject only to the right of appeal by the applicant.
- E. **Variances from Guidelines.** On show of good cause, including to overcome practical difficulties and unnecessary hardship arising by reason of the application of the conditions and restrictions in any Design Guidelines, the DRB may grant reasonable variances from the Design Guidelines pursuant to the CPOA Covenants. The DRB may approve a variance from Design Guidelines if the variance is not materially detrimental or injurious to other property or improvements in the community. In making this determination, the DRB will consider whether granting the variance:
- Would result in an overall design that is compatible with the visual character of the surrounding neighborhood; and
 - Would solve a legitimate design problem or hardship created by site characteristics or constraints that cannot be reasonably remedied through conformance to the Design Guidelines; or
 - Is necessary to achieve a unique design solution consistent with Cordillera's overall vision and design philosophy that would not be possible through strict application of Design Guideline metrics.
- F. **Outside Consultants.** The DRB may retain the services of one or more consulting architects, landscape architects or land planning consultants to advise and assist the DRB in performing design review functions. Outside consultants may be retained to assist the DRB on a single project, on a number of projects or on a continuing basis. Costs of outside consultants are borne by the applicant, as applicable.
- G. **Project Monitoring and Enforcement.** The Design Guidelines are administered and enforced by the DRB pursuant to the CPOA Covenants and the procedures set forth in this document. The DRB also enforces Cordillera's Construction Rules and Regulations. The DRB or its designated representative may enter a property at any reasonable time to inspect the work status of any approved project to ensure that the construction or work complies with approved plans and established construction procedures. In addition to the enforcement of these guidelines, the DRB may withdraw approval of any project, levy fines and/or

require all activity at such project to cease and desist if deviations from approved plans or construction procedures are not corrected; in the event of noncompliance with the Construction Rules and Regulations, and/or failure to complete approved projects in a timely manner. Procedures associated with non-compliance are covered in Section 9.9 of the CPOA Covenants.

- H. **DRB Approvals.** All decisions by the DRB are valid for one year from the day of the decision. Owners may apply to the DRB Administrator for an extension of approval of a Final Plan, not to exceed one year from the day the Final Plan would have expired.

1.02.04 Owner Responsibilities and Representation

- A. The owner, architect and members of their design team must be familiar with the attributes and characteristics of the property to be developed, as well as the nature and character of the surrounding landscape and neighborhood. Owners, architects and general contractors must also be familiar with all regulations and requirements that apply to development within Cordillera and should secure copies of the most up-to-date versions of all applicable regulations.
- B. To maintain high quality design and construction, only licensed professional architects are permitted to design homes in Cordillera, and only licensed professional landscape architects are permitted to design landscapes and site improvements. Professional licenses must be valid in the United States and eligible for licensing in the State of Colorado. It is strongly recommended that architects and landscape professionals involved in Cordillera have experience designing in mountain environments. To ensure effective communication and efficient review, the architect responsible for plan drawings must be present at DRB meetings. Owners and other members of the design team are also welcome to attend.
- C. All property owners seeking DRB approval must be current on all dues and/or fees related to the DRB, CPOA or the Cordillera Metropolitan District (CMD) before any DRB Review is undertaken. Plans for properties that are not current on dues and fees will not be placed on the DRB agenda.

SECTION 1.03.00. DESIGN REVIEW AND CONSTRUCTION PROCESS

All site development and improvements constructed within Cordillera must conform to the following design review and construction procedures and all other applicable local, county, state and federal governing codes, regulations and restrictions.

1.03.01 New Construction Review Process

The design review process for new construction requires a number of steps. Checklists are provided to help ensure completeness of all applications. Required/available steps include:

1. Pre-Design Conference
2. Preliminary Design Review
3. Sketch Plan Review
4. Final Plan Review
5. Technical Review
6. Pre-construction Meeting
7. Construction Inspections and Project Completion

An abbreviated process requiring a pre-design conference and the steps associated with Final Plan Review will be applied to projects involving exterior modifications of existing structures.

1. Pre-design Conference

A pre-design conference with the DRB Administrator is strongly encouraged. The purpose of this meeting is to review the subject property, discuss the desires of the owner/architect, review conceptual drawings, and acquaint the owner/architect with applicable sections of the Design Guidelines and the design review process. Relevant issues can be identified, and guidance provided in advance of substantive design work for the project.

Pre-design Conference requirements:

- Topographic survey indicating adjacent street, property boundaries, building envelope, easements, two (2) foot contours, significant vegetation, and potential views
- Conceptual drawings indicating driveway alignment and general layout of home
- Conceptual roof plan, proposed exterior materials, and any other details available being considered.

There is no fee for a pre-design conference, and no limit to the number of pre-design conferences that can be requested for a given project. Contact the DRB Administrator at (970)569-6255 to set up an appointment.

2. Preliminary Design Review

Preliminary Design Review is a mandatory meeting with the DRB to review the preliminary site plan, landscape plan and architectural drawings. This meeting also serves to confirm understanding by the owner/architect of the design review process, the construction process, relevant fees and deposits, design expectations, and other design considerations and regulations. The architect responsible for plan drawings must attend the meeting to address any questions regarding the project. Owners and other members of the design team are also welcome to attend.

Submittal Requirements: Site, landscape and architectural CAD drawings must be prepared by licensed architects, and all plan sheets must be dated and stapled together as a set. All site, landscape and floor plan sheets must display a north arrow. The minimum size of a plan sheet is 24"x36". One (1) hard copy and one electronic copy in PDF format of the following is required:

- Completed application with review fee (See the DRB Review Fee Schedule. Checks must be made out to the Cordillera Property Owners Association (CPOA))
- A current title report, with schedules A&B to verify ownership and easements
- A written narrative responding to the following questions:
 - What measures have been taken to assure conformance to expectations listed in Section 3.02.00, Site Planning Guidelines?
 - What architectural features have been incorporated to ensure conformance to the applicable Neighborhood Architectural Theme? (Divide, Ranch, Summit or Territories)
 - What siting and architectural features have been incorporated to ensure compatibility with site characteristics and the nature of adjacent developed properties?
- A drawing cover sheet providing project name, vicinity map, and pertinent project information.
- A stamped and dated topographic survey, scale of 1" = 10', including:
 - The legal and physical address of the property
 - Lot size, property boundaries and building envelope
 - Utilities and easements
 - Topography at two-foot contour intervals, elevations identified at ten-foot intervals for the entire property.
 - Existing mature trees identified by species.
 - On lots larger than 3 acres, topographic and tree identification coverage may be reduced as approved by the DRB Administrator.
 - Significant natural features such as rock outcroppings or drainage ways

- Any existing structures or improvements
- Spot elevations at the edge of asphalt
- A site plan, scale of 1" = 10' or 1" = 20' indicating
 - Property boundaries, building envelope, and easements
 - The proposed driveway with driveway grades indicated
 - Proposed structural footprints
 - Existing contours running through proposed improvements
 - Proposed contours and grading.
- A conceptual landscape plan, scale of 1" = 10' or 1" = 20', indicating
 - Desired views from the residence
 - Potential outdoor living spaces
 - Exposures to off-site uses/views that will necessitate landscape screening
 - Existing and proposed contours
 - Preliminary drainage
 - Existing trees of prominence to the landscape plan
 - Conceptual bubbles of where new trees, shrubs, lawn areas and flower beds would be located
- Preliminary floor plans, scale of 1/4" = 1'-0" or 1/8" = 1'-0", with rooms labeled and floor plate elevations provided.
- Preliminary elevations, scale of 1/4" = 1'-0" or 1/8" = 1'-0"
- Preliminary roof plan with pitches, materials and overhangs indicated
- A physical or computer-generated three-dimensional model or rendering indicating the proposed building's form, scale, massing, driveway access and the relationship of all improvements to the site.

Upon receipt of the preliminary design submittal, the DRB Administrator assembles a preliminary design staff report indicating the degree of conformance of the proposed project to Design Guideline requirements and expectations. The staff report and the meeting agenda are sent to the applicant no less than 48 hours before the meeting.

Applicants who receive preliminary design approval may submit plans for sketch plan review. If the preliminary design submittal does not meet expectations, the DRB may table project review and require the applicant to submit revised plans for a future meeting. Each submittal packet for DRB review must be full and complete; staff will not keep previous parts or assemble separate elements of an application. Draft minutes approved by the Chair are sent to the applicant as soon as possible following the meeting.

3. Sketch Plan Review

The purpose of sketch plan review is to address more refined elements of the proposed design, and to identify specific elements where revisions may be necessary to better meet design guideline expectations. The architect responsible for plan drawings must attend the meeting to present plans and to address any questions regarding the project. Owners and other members of the design team are welcome as well. **Submittal Requirements:** Site, landscape and architectural drawings must be prepared by licensed architects, and all plan sheets must be dated and stapled together as a set. All site, landscape and floor plan sheets must display a north arrow. The minimum size of a plan sheet is 24"x36". One (1) hard copy and one electronic copy in PDF format of the following is required:

- A completed application with review fee (see the DRB Review Fee Schedule. Checks must be made out to the Cordillera Property Owners Association (CPOA))
- A written narrative responding to the following questions:
 - What adjustments have been made to address issues identified at the preliminary design review?

- What changes or adjustments have been made to the design that were not identified at preliminary design review? Substantial changes to the design of the home between preliminary design and sketch plan submittals that have not been requested by the DRB may result in a re-review of the project at the preliminary design level.
- What project specific considerations have been addressed in the development of the preliminary landscape plan?
- Will the proposed design necessitate the approval of one or more variance from Design Guidelines?
- Evidence that a building envelope amendment has been approved by Eagle County, if applicable.
- A copy of the wildfire rating analysis conducted by Eagle County for the subject lot
- Verification that all owners of property within 75 feet of the subject lot have been notified of the proposed project and have been provided adequate time to respond, including:
 - A list of adjoining owners and their mailing addresses;
 - A copy of the letter sent to adjoining property owners, indicating the nature of the project and instructions to contact the Cordillera DRB Administrator with any questions or concerns. A form letter is available and may be downloaded from the Cordillera website, and;
 - Mail receipts confirming letters sent to adjoining owners with adequate time for response.
- A drawing cover sheet providing project name, vicinity map, and pertinent project information.
- A stamped and dated topographic survey (same as that submitted for pre-design)
- A site plan, scale of 1" = 10' indicating:
 - Property boundaries, building envelope, north arrow
 - Driveway alignment and grades
 - Existing and proposed contours
 - Footprints of all structures
 - Footprints of all external hardscape areas (patios, parking surfaces, etc.)
 - Snow storage areas (25% of driveway and parking surface)
 - Proposed drainage
- A preliminary landscape plan, prepared by a landscape architect, scale of 1" = 10' indicating:
 - Building and driveway/parking footprints
 - Existing and proposed contours
 - Site drainage
 - Outdoor living spaces (patios, seating areas, sidewalks, fire pits, hot tubs, etc.)
 - Areas to be disturbed and areas and trees to be protected (line of disturbance)
 - The location and size/nature of all proposed plant materials
 - Other landscape improvements such as retaining walls, landscape walls, fences, artwork, etc.
 - Temporary and permanent measures for slope stabilization/erosion control
- Floor plan(s), scale of 1/4" = 1'-0" or 1/8" = 1'-0" indicating:
 - Room names and size
 - Floor plate elevations
 - Window openings in walls
 - Fireplaces
 - A summary table of square footage of habitable space on each floor
 - Square footage of garage and mechanical rooms
- Roof plan, same scale as floor plan, indicating:
 - Roof pitches
 - Roofing materials
 - Overhang dimensions
 - Chimney and flue locations

- Elevations of major ridge and eave lines
- Existing and proposed grades. Contour lines should be drawn through the structure
- Roof height calculations
- Exterior elevations, same scale as floor plan, indicating:
 - Proposed and existing grades
 - Exterior materials and preliminary color scheme
 - Structural expression in the form of beams, braces, rafter tails, outlooks and other supports
 - Nature and placement of windows, doors and other fenestrations
 - Proposed trims, facias and similar detail
 - Stone percentage per elevation calculation
 - Design of porch/balcony railings
 - Any other detail defining the proposed architectural character of the residence
- Longitudinal and cross building sections, scale of 1/4" = 1'-0" or 1/8" = 1'-0", indicating:
 - Building walls, floors and roofs with existing and proposed adjacent grades
 - Patios, decks, driveways, parking areas and other landscape features
 - Retaining walls
- Preliminary ideas/cut sheets on proposed exterior materials
- A physical or computer-generated three-dimensional model or rendering indicating the proposed building's three-dimensional form, scale, massing, and driveway access.

Upon receipt of the Sketch Plan submittal, the DRB Administrator will generate a Sketch Plan staff report, indicating changes, adjustments, and the degree of conformance of the proposed project to Design Guideline requirements and expectations. Potential variances from guidelines will be identified. The Sketch Plan staff report and the meeting agenda will be sent to the applicant no less than 48 hours before the meeting.

Applicants who receive Sketch Plan approval may submit plans for Final Plan Review. If the DRB denies the Sketch Plan, the applicant may submit revised plans for review at a future meeting. Each submittal packet for DRB review must be full and complete; staff will not keep previous parts or assemble separate elements of an application. Draft minutes approved by the Chair are sent to the applicant as soon as possible following the meeting.

4. Final Plan Review

The purpose of the Final Plan Review is to verify the incorporation of suggestions made at the Sketch Plan review and other details, including proposed materials and colors, at a construction level of development. Requested variances to guidelines are also considered. The architect responsible for plan drawings must attend the meeting to present plans and to address any questions regarding the project. Owners and other members of the design team are welcome as well.

Additions or modifications to existing homes that require review by the DRB will be conducted at the Final Plan Review level.

Submittal Requirements: Site, landscape and architectural drawings must be prepared by licensed architects, and all plan sheets must be dated and stapled together as a set. The minimum size of a plan sheet is 24"x36". One (1) hard copy and one electronic copy in PDF format of the following is required:

- Completed application form
- A written narrative responding to the following questions:
 - What adjustments have been made to address issues identified at the Sketch Plan review?
 - Have any changes been made to the design that were not identified at Sketch Plan review?

Substantial changes to the design of the home between sketch plan and final plan submittals not requested by the DRB may result in a re-review of the project at the sketch plan level.

- Requested variances, if any, and justification for the same.
- A drawing cover sheet providing project name, vicinity map, and other pertinent project information.
- A stamped and dated topographic survey (same as that submitted for pre-design)
- A site plan, scale of 1" = 10' indicating:
 - Property boundaries, building envelope, easements, north arrow
 - Driveway alignment, parking areas, and grades
 - Driveway culvert (if required) with invert elevations tied to contour lines
 - Footprints of all structures and external living areas (patios, balconies, yards, etc.)
 - Existing and proposed contours/elevations, existing contours should run through the structure
 - Roof outlines
 - Footprint of septic soil treatment area, if applicable
 - Snow storage areas (25% of driveway and parking surface)
 - Proposed drainage
 - Utility locations, lines and proposed connections
- A Final Landscape Plan, scale of 1" = 10' indicating:
 - Building footprints
 - Outdoor living spaces (patios, seating areas, sidewalks, fire pits, hot tubs, etc.)
 - Location and detail for an address sign, to include lighting specifications
 - Landscape, walkway, driveway lighting details
 - The area of disturbance, showing trees to be protected. On-site septic system components and utility service lines should be indicated and included in the area of disturbance.
 - The name, size and location of all proposed plant materials.
 - Plant installation and soil preparation specifications for trees, shrubs and flower beds
 - The type and general location of irrigation system, square feet of area covered by spray heads, and water usage calculations
 - Other landscape improvements such as water features, retaining walls, landscape walls, rocks, fences, artwork, etc.
 - Temporary and permanent measures for slope stabilization/erosion control.
 - Erosion control fencing is required downhill from any disturbed areas.
 - Sediment control measures are required in the roadside ditch, as necessary.
 - Installation details for all erosion and sediment control measures are required.
 - Revegetation seed mix, mulch type, fertilizer type, and application rates/methods are required.
- Floor plan(s), scale of 1/4" = 1'-0" or 1/8" = 1'-0" indicating:
 - Room names and size
 - Floor plate elevations
 - Walls and window openings and dimensioned
 - Fireplaces
 - Location of knock box, electric meter, gas meter
 - A summary table of square footage of habitable space on each floor, and square footage of garage and mechanical rooms
- Roof plan, same scale as floor plan, indicating:
 - Roof pitches
 - Roofing materials
 - Overhang dimensions
 - Chimney and flue locations

- Location of gutters downspouts and snow guards.
- Elevations of major ridge and eave lines
- Existing and proposed grades. Contour lines should be drawn through the structure
- Roof height calculations in table form
- Exterior elevations, same scale as floor plan, indicating:
 - Proposed and existing grades
 - Exterior materials and colors
 - Structural expression, beams, braces, rafter tails, outlooks, etc.
 - Windows, doors and trim
 - Proposed trims, facias and similar detail
 - Stone foundation/siding percentage calculations
 - Integrated retaining and/or landscape walls
 - Design detail for porch/balcony railings
 - Other details defining the architectural character of the residence
- Longitudinal and cross-building sections, scale of $1/4" = 1'-0"$ or $1/8" = 1'-0"$, indicating:
 - Building walls, floors and roofs with existing and proposed grades
 - Patios, decks, driveways, parking areas and other landscape features
 - Retaining walls
- Specifications, cut sheets or detail drawings for:
 - Exterior wall materials. An exterior wall materials/colors/textures board is encouraged at the DRB meeting.
 - Windows and doors (window and door schedule)
 - Exterior trim
 - Exposed structure
 - Wall and roof flashing
 - Fireplace and flue caps
 - Exterior lighting fixtures
 - Exterior patios and built-in features like hot tubs, gas fireplaces, and barbeque grills.
- A Construction Schedule and Management Plan, separate from the final landscape and site plans, scale of $1" = 10'$, providing:
 - Approximate time schedule of activities between start-up and completion of construction, utility hook-up, completion of landscaping and anticipated occupancy date.
 - A limit of disturbance line indicating the area within which all construction activities, parking and storage will take place.
 - Location of access drives, construction parking, temporary structures/trailers, chemical toilet, dumpsters, bear-proof trash container (for food items) material lay-down and staging areas, soil storage areas, and the design and location of the construction sign.
 - Measures to prevent tracking of soil from the driveway to the adjacent roadway during construction.
 - Dust control strategies
 - Weed management strategies
 - Special measures for protecting vegetation and other natural features of the lot during construction.
- A physical or computer-generated three-dimensional model or rendering representing the proposed building's form, scale, massing, details, shadows, driveway access, landscaping and other existing and proposed features.

Upon receipt of the Final Plan submittal, the DRB Administrator will generate a Final Plan staff report

indicating changes, adjustments, and the degree of conformance of the proposed project to Design Guideline requirements and expectations. Requested variances will be listed. The Final Plan staff report and the meeting agenda will be sent to the applicant no less than 48 hours before the meeting.

Applicants who receive Final Plan approval may submit plans for Technical Review. If the DRB denies the Final Plan, the applicant may submit revised plans for review at a future meeting. Each submittal packet for DRB review must be full and complete; staff will not keep previous parts or assemble separate elements of an application. Draft minutes approved by the Chair are sent to the applicant as soon as possible following the meeting.

5. Combining Sketch and Final Plan Applications

The DRB may allow a combined Sketch and Final Plan application, providing an opportunity for final plan approval in a shortened process. Request for a combined Sketch/Final Plan review must be made at the pre-design meeting and will be considered only if no substantive issues or design concerns have been identified. Applications for a combined Sketch/Final Plan must address both Sketch Plan and Final Plan process standards. Allowing a combined sketch/final application does not obligate the DRB to approve the application; if this process is pursued, the applicant assumes all risk.

6. Technical Review

The purpose of the Technical Review is to ensure that all aspects of the final construction drawings are consistent with the approved Final Plan and to physically stamp all plan sheets to indicate DRB approval before plans are submitted to Eagle County for a building permit. Construction level detail is required, including structural engineering and engineered plans for the on-site septic system, when applicable. Technical Review is conducted administratively by staff and does not require a meeting with the DRB.

All plans **MUST** be stamped by the DRB before being submitted to Eagle County for a building permit. Submittal of plan sheets to the County Building Department that have not been stamped by the DRB may result in fines and penalties up to the entire compliance deposit.

Submittal Requirements All standards for professional preparation and stamping of plan sheets apply to the Technical Plan submittal. Three (3) hard copies and one electronic copy in PDF format of the following is required:

- Completed application form
- Payment for variances requested and approved, per the design review fee schedule. Checks must be made out to the Cordillera Property Owners Association (CPOA).
- Complete drawing sets conforming to the approved Final Plan and incorporating all changes requested by the DRB at Final Plan review.
- Drawing sets on sheets no smaller than 24"x36", organized, labeled, and stapled together.
- Specification and/or cut sheets for all fixtures and color details for all materials.
- The design of the construction sign for the project.
- A fully executed Compliance Agreement, and the Compliance Deposit (check made out to CPOA)
- The Design Guidelines/Construction Rules and Regulations Acknowledgment (see Exhibit D) signed by property owners and the general contractor. *See also 1.04.05 on page 17*

Upon receipt, the DRB Administrator will review the Technical Plan sets for conformance to the approved Final Plan. Each sheet of plan sets in conformance will be stamped with two sets returned to the applicant for submittal to Eagle County for a Building Permit. The third set will be kept as the DRB copy.

If the Technical Plan submitted is not sufficient, the DRB Administrator provides a list of deficiencies to the

applicant. The applicant is responsible for all necessary revisions, and for the reorganization and re-stapling of all plan sets submitted.

6. Pre-Construction Meeting

Before earthwork associated with project construction begins, an on-site pre-construction meeting must be scheduled by the applicant. The purpose of this meeting is to confirm site staking and the installation of protective fencing, and to review parking, access, work hours and other pertinent rules and regulations with involved contractors and enforcement officials. The following is required:

- A fully executed and notarized Road Encroachment Agreement. Please contact the DRB Administrator for details.
- A completed Road Impact Fee Worksheet (see Exhibit C) and payment of the fee (check made out to CMD)
- Staking on site indicating driveway alignment, building envelope and building footprint
- Area of disturbance fencing and erosion control silt fencing installed.
- Attendance by the excavation contractor and the general contractor superintendent. Architects and other owner representatives are welcome.
- Attendance by the Cordillera DRB Administrator, the Cordillera Metropolitan District Director of Public Safety and the Cordillera Metropolitan District Director of Community Operations or their representatives.
- Other protection measures installed, as applicable.
- Construction sign installed.

The removal of snow and trees from a lot may be necessary prior to perimeter fencing and staking. These activities must be coordinated with the DRB Administrator and Cordillera's Department of Public Safety. Contact the DRB Administrator for additional information.

7. Construction Inspections and Project Completion

The DRB or its representative is authorized to inspect all work in progress at any time during construction. If non-compliance items are found, the DRB gives notice to the owner, with a request to cure as the first step in a tiered schedule of enforcement. Fines will be imposed if corrective action is not taken. Absence of inspections or notifications during the construction period does not imply approval of the work in progress or compliance with these design regulations. Please see Cordillera's Construction Rules and Regulations for additional detail. DRB inspections are independent of inspections required and conducted by the Eagle County Building Department. Upon completion of construction, landscaping and all site restoration and stabilization measures, the owner may request final inspection by the DRB, and the return of their compliance deposit. Following final inspection, the DRB notifies the owner of items that must be addressed. Once the project has been found in full compliance, DRB Administrator initiates the return of compliance deposit monies to the owner of the property. Ten percent (10%) of the compliance deposit is retained for a period of one (1) year to ensure success of landscaping and site stabilization.

1.03.02 Modifications to Approved Plans

During the construction process, no changes, alterations or additions to any plan or specification that effects the exterior appearance of the home are allowed without prior written approval by the DRB. Proposed changes to approved plans must be submitted to the DRB Administrator. Changes of minor nature consistent with the overall design intent of the approved plans may be approved administratively. More significant changes may require approval in a scheduled meeting by the DRB, at the discretion of the DRB Administrator. If changes require review by the DRB, applicable fees will apply (refer to the DRB Fee Schedule). Written approval must be granted administratively or by the DRB before the modification work may commence. Failure to receive written approval for modifications made will result in a notice to cease construction, a mandatory

presentation of changes to the DRB and the possibility of fines.

1.03.03 Building Envelope Amendment or Relocation

On show of good cause, building envelopes may be adjusted or relocated to accommodate new home designs, or additions to existing homes. The review of building envelope amendments/relocations by the Cordillera Design Review Board is the first step in Eagle County's Amended Final Plat process, with approval by the DRB serving to meet a necessary County application requirement. Building envelope amendments typically take the form of minor expansions or reductions at the margin of the envelope to accommodate structural improvements. Consistent with Eagle County Land Use Regulations, areas added to the envelope must be balanced by areas removed, resulting in an amended envelope of the same size. Moving the entire envelope or a substantial part of the envelope to a new location on the lot requires a higher level of scrutiny, including but not limited to a report by a qualified geotechnical engineer confirming suitability for access and construction on the amended envelope. All proposed building envelope amendments or relocations must conform to the following design review procedures.

1. Review as part of the Preliminary Design submittal

A proposed building envelope adjustment must be specified on plans reviewed at the Preliminary Design level. Just cause and options are discussed. At the close of deliberation, the envelope adjustment will be supported conceptually or denied by the Board. If supported, a separate application to the DRB for a building envelope adjustment or relocation is required. Submittal requirements for a project that involves a building envelope adjustment or relocation include:

- A site plan indicating property boundaries, easements, proposed access, building footprint, existing and proposed contours, the existing building envelope, and proposed building envelope adjustments.
- Preliminary floor plans and elevations, with outdoor living spaces indicated.
- Justification for the adjustment/relocation in narrative form.

2. Envelope Amendment/Relocation Review

Following conceptual support of the building envelope adjustment/relocation at Preliminary Design for a proposed residence, the owner applies to the DRB for a building envelope amendment. Application requirements include:

- A completed application with review fee (see the DRB Review Fee Schedule. Checks should be made out to the Cordillera Property Owners Association (CPOA))
- Justification for the adjustment in narrative form.
- A site plan indicating property boundaries, easements, proposed access, building footprint, existing and proposed contours, the existing building envelope, and proposed building envelope adjustments. The DRB may require staking of the proposed adjustment and a site visit as part of the building envelope amendment review process.
- Preliminary floor plans and elevations, with outdoor living spaces indicated.
- A 24"x36" copy of the proposed amended final plat in the form that will be submitted to Eagle County, prepared by a registered land surveyor. An electronic version of the site plan, elevations, and plat is also required.
- Geotechnical engineering report, as necessary.
- Verification that all owners of property within 75 feet of the subject lot have been notified of the proposed adjustment and have been provided adequate time to respond, including:
 - A list of adjoining owners and their mailing addresses;
 - A copy of the letter sent to adjoining property owners, indicating the nature of the project and instructions to contact the DRB Administrator with any questions or concerns. A form letter is provided for this purpose which can be downloaded from the Cordillera website, and;

- Mail receipts confirming letters sent to adjoining owners with adequate time for response.

3. Envelope Amendment/Relocation Criteria

The proposed amendment will be approved by the DRB if the following criteria are met:

- A. The amendment does not adversely impact the views or privacy enjoyed by an adjacent property; and
- B. The amendment will not increase the risk of geologic or other hazards on the property or increase potential hazards on an adjacent property. This finding may require additional study by a qualified professional engineer.

Once DRB approval has been received, the applicant may apply to the Eagle County Community Development Department for an Amended Final Plat. The DRB will not provide Sketch Plan approval for a new Single Family Home project that requires a building envelope adjustment until the envelope adjustment has been approved through Eagle County's Amended Final Plat process.

4. Concurrent Review for Expansion of an Existing Home

If an expansion to an existing home requires an envelope adjustment, the DRB may review architectural plans and the building envelope adjustment at the same meeting. Each application will be listed separately on the agenda, and submittal requirements for each must be met. Architectural plans must be reviewed and approved prior to consideration of the envelope adjustment. In these instances, approval of the Amended Final Plat by Eagle County must be demonstrated at application for Technical Plan review.

1.03.04 Lot Line Vacation and/or Relocation

The vacation or abandonment of lot lines between contiguous lots under single ownership, or the vacation and relocation of lot lines between contiguous lots under ownership by neighbors in agreement, must be approved by the DRB and the CPOA. Building envelopes associated with lots that are vacated through this process must also be vacated to ensure that the new lot(s) created contain(s) only one (1) envelope. Building envelopes may only be vacated; they may not be amended or moved through this process.

The vacation of lot lines in Cordillera will not modify the number of dwelling units approved for the Cordillera Planned Unit Development and will not result in the vacation of domestic water taps available within the development. All proposed lot line vacations or relocations must conform to the following design review procedures.

1. Pre-application Conference

A preapplication conference with the DRB Administrator is required for any proposed change to a lot line in Cordillera. During this conference, intents of all parties will be confirmed, and information will be provided regarding the process to be followed and materials that will be necessary for an application.

2. Lot Line Vacation/Relocation Review

Following a pre-application conference with the DRB Administrator the owner may apply for a lot line vacation and/or relocation review by the DRB. Application requirements include:

- A completed application with review fee (see the DRB Review Fee Schedule. Checks must be made out to the Cordillera Property Owners Association (CPOA))
- A preliminary site plan indicating boundaries, easements, improvements and building envelopes on all affected lots.
- A 24"x36" copy of the proposed amended final plat in the form that will be submitted to Eagle County, prepared by a Registered Land Surveyor. A PDF version of the site plan and plat is also required.
- Verification that all owners of property within 75 feet of the subject lots have been notified of the

proposed vacation/relocation and have been provided adequate time to respond, including;

- A list of adjoining owners and their mailing addresses;
- A copy of the letter sent to adjoining property owners, indicating the nature of the proposal and instructions to contact the DRB Administrator with any questions or concerns. A form letter is available and may be downloaded from the Cordillera website, and;
- Mail receipts confirming certified letters sent to adjoining owners with adequate time for response.

3. Lot Line Vacation/Relocation Criteria The proposed lot line vacation or relocation will be approved by the DRB if the amendment does not adversely impact an adjacent property.

4. Consideration by the Cordillera Property Owners Association

Once approved by the DRB, the proposed lot line vacation or relocation will be presented to the CPOA Board for their consideration.

5. Approval of an Amended Final Plat by Eagle County

Evidence of DRB and CPOA approval is provided to the property owner in writing. The applicant may then apply to the Eagle County Community Development Department for an Amended Final Plat. Following approval by the Board of County Commissioners, an electronic version of the amended plat must be provided to the DRB Administrator and the CPOA Board in PDF format.

1.03.05 Re-creation of Previously Combined or Reconfigured lots

The re-creation of previously combined or reconfigured lots is allowed with approval by DRB and the CPOA. Lots and building envelopes re-created must exactly replicate their original form, size, and position on the landscape. Property owner assessments not paid during the period lots were combined or reconfigured must be paid in full in accordance with CPOA requirements prior to approval by the DRB and CPOA of a re-created lot. The process for the re-creation of previously combined or reconfigured lots will be the same as that followed for Lot Line Vacation or Relocation, requiring as a final step the approval of an Amended Final Plat by the Board of County Commissioners.

SECTION 1.04.00. FEES, AGREEMENTS, DEPOSITS AND AMENDMENTS

1.04.01 Design Review Fees

The DRB has established a Design Review Fee Schedule to defray the costs of reviewing applications and for inspections and administrative tasks necessary during the time of construction. The Design Review Fee Schedule is provided as Exhibit B of this document.

1.04.02 Road Encroachment Agreement

A Road Encroachment Agreement between the owner and the Cordillera Metropolitan District establishing allowances and responsibilities within the District owned road right-of-way at the driveway entrance must be signed and notarized before scheduling the pre-construction meeting. A project specific copy of the Road Encroachment Agreement will be provided to the owner or owner's representative by the DRB Administrator following the release of Technical Plan sets.

1.04.03 Road Impact Fee

A Road Impact Fee is calculated and collected before scheduling of the pre-construction meeting. This fee is based on the size and specific design of the home, the distance of the home from the Cordillera access gate, and the amount of construction traffic, especially large trucks, anticipated to access the site during construction. The Road Impact Fee Worksheet is provided as Exhibit C of this document.

1.04.04 Compliance Agreement and Deposit

A Compliance Deposit Agreement will be provided to the owner or owner’s representative by the DRB Administrator following Final Plan approval and must be signed and submitted before the release of stamped Technical Plans. A Compliance Deposit is also required to ensure compliance with construction regulations and the completion of all improvements as proposed and approved. The deposit will be returned to the owner upon completion of the project less fines or charges imposed by the DRB during construction. Fees and deposits are payable to the Cordillera Property Owners Association (CPOA).

1.04.05 Acknowledgement of Design Guidelines and Construction Rules and Regulations

Prior to the pre-construction meeting, the owner and general contractor must submit an executed copy of the Design Guidelines and Construction Rules and Regulations Acknowledgement form, indicating their understanding of and willingness to comply with all procedures and regulations affecting the construction activities and design control in Cordillera. The acknowledgement form is provided as Exhibit D of this document.

1.04.06 Design Guideline Amendments

The Cordillera Design Guidelines may be amended from time to time at the sole discretion of the DRB. All additions, revisions or other amendments have the same force and effect as the guidelines on the date designated. Owners and architects are responsible for obtaining the most current set of design guidelines from the DRB.

EXHIBIT A

Cordillera Design Review Board Code of Conduct

All members of the DRB commit themselves to ethical, businesslike, and lawful conduct, including the proper interpretation and use of Cordillera Design guidelines, CC&Rs, and architectural and building standards. In addition, DRB members hold themselves accountable for the following:

1. Coming prepared for all DRB meetings;
2. Addressing planned and emergent issues in a professional manner;
3. Demonstrating civility and respect for each other, CPOA board members, community members, employees and contractors;
4. Expressing individual opinions in a responsible manner, avoiding harm or exposure to legal jeopardy;
5. Demonstrating loyalty to the interests of the Cordillera community as a whole, superseding loyalties to individual property owners, personal interests, or personal aspirations;
6. Self-disclosing any position of authority or affiliation with any business that contracts with or desires to do business with the CPOA or the CMD;
7. Not seeking or accepting special favors from contractors or potential contractors or suppliers of services or products that are not available to other community members;
8. Not seeking to exercise individual authority over any matters except as explicitly stated in the DRB governing documents and policies, or as authorized by the CPOA;
9. Abstaining from governing authority over Cordillera employees, contractors, community members, and the public, except where explicitly authorized, and;
10. Maintaining strict confidentiality regarding enforcement of CC&Rs, rules, and policies, as well as any sensitive personal or project information.



EXHIBIT B

Cordillera Design Review Board
Fee and Deposit Schedule Adopted 11/10/2020

Fees and deposits payable to the Cordillera Property Owners Association (CPOA)

Request	Fee*
Pre-Design Conference w/ staff, new Single-Family Home (SFH)	No Fee
Preliminary Design Review, new SFH (covers two meetings, if required)	\$1000
Sketch Plan Review, new SFH (based on livable space)	\$3500 + \$1 per square foot over 4500 square feet
Final Plan Review, new SFH	\$500
Additional Meeting for Sketch or Final Plan Review for new SFH	\$1000
Technical Review, new SFH	\$200
Road Impact Fee – See worksheet Exhibit D	Calculated per project
Variance from Guideline Metrics	\$500 per item
Modification to approved Final Plans, Administrative approval	\$200 per item
Modification to approved Final Plans, DRB review required	\$1000
One Year Final Plan Extension	\$200
Compliance Violation, DRB Review Required (additional fines may apply)	\$1000
Building Envelope Amendment	\$1000
Lot Line Amendment or Lot Line Vacation (lot combination)	\$1000

*Fees for improvements not listed will be determined based on process requirements
Projects started without DRB approval will be charged double the review fee.

Construction Compliance Deposits

Size of home/type of project	Amount
New Single-Family Home 2500 – 5000 square feet of habitable space	\$20,000
New Single-Family Home 5001 – 7000 square feet of habitable space	\$30,000
New Single-Family Home 7001 – 10,000 square feet of habitable space	\$40,000
New Single-Family Home 10,001 – 15,000 square feet of habitable space	\$50,000
Modification to existing home that changes heated square footage or building footprint	\$10,000
Modification to landscaping that involves significant grading, retaining walls, etc.	\$5,000

Exhibit C: Resolution No.2 series 2014

CORDILLERA METRO DISTRICT

0408 Carterville Road, Cordillera CO 81632

O: (970)926-1923

F: (970)926-5577

ROAD IMPACT FEE WORKSHEET - NEW CONSTRUCTION

Date:

Address:

Filing: Lot:

Owner:

Contractor:

Contact

Phone

Mailing Address

THREE AXLE TRUCKS

	Cubic Yards	Trips*	Mileage	Fee/mile	Reduction 50%
Dirt Export (Volume)	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Dirt Import (Volume)	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
(Dirt and Road Base)	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Concrete (Volume)	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Septic (Volume)	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Other (Volume)	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
5 Axle/Overweight	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Escort	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
TOTAL	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

*10 cubic yards = 1 trip

TRACTOR TRAILER & OVER WEIGHT EQUIPMENT IMPACT FEES

	3 - 4 Axle	5 Axle	Over Weight			
Weight	18,000 lbs.	18,000 lbs.	19,800 lbs.	21,780 lbs.	23,958 lbs.	26,354 lbs.
Cost per Mile	\$10.64/Mile	\$15.2/Mile	\$30.4/Mile	\$60.8/Mile	\$121.6/Mile	\$243.2/Mile



EXHIBIT D

**Design Review Board and
Department of Public Safety**

**Homeowner/Contractor Acknowledgement
Familiarity with Guidelines and Construction Rules and Regulations**

The undersigned acknowledges the following:

1. I am familiar with all sections of the Cordillera Design Guidelines that pertain to the proposed work at _____ (subject property).
2. I have read Cordillera’s Construction Rules and Regulations, and I am aware:
 - a. that once started, construction must be diligently pursued to completion
 - b. that the Construction Management Plan and construction schedule must be updated with the DRB in the event of any change or substantive delay.
 - c. that any change to architectural or site plans must be approved by the DRB prior to submittal to Eagle County and/or implementation on site.
 - d. that there are construction access and work hour restrictions in Cordillera, including time frames for entry and exit, and limitations to work on weekends and holidays.
 - e. that large trucks require escort, which must be arranged with Public Safety 24 hours in advance and will be turned away at entry gates if an escort has not been arranged.
 - f. that dogs are not allowed in construction vehicles or on construction sites.
 - g. that all subcontractors and delivery providers must be knowledgeable of and are subject to Cordillera’s Construction Rules and Regulations.
 - h. that failure to diligently pursue completion and other violations of the Cordillera Guidelines and/or Construction Rules and Regulations may result in fines and audience with the DRB.

Owner Signature(s) _____ Date _____

Print names _____

General Contractor Signature _____ Date _____

Print name _____

Title _____

Company _____

Phone _____ Email _____

SECTION 2.01.00. THE CORDILLERA DESIGN PHILOSOPHY

The overriding vision for Cordillera is to create a truly unique residential community set within the grandeur of the Rocky Mountains. The design philosophy for Cordillera is dictated by a respect for the natural environment. Stated in the broadest sense, the design of buildings and improvements should be in harmony with their setting and complement, rather than overpower the natural landscape. For example, the architectural style must be responsive to the physical characteristics of the site and climatic considerations. Further, building materials and colors should reflect the natural landforms and vegetation of the site. Design solutions for all improvements should take their cue from the land.

An incredible variety of terrain is found throughout Cordillera. The high hills and ridges of The Divide afford stunning views of surrounding mountains and valleys. The Ranch is characterized by high alpine meadows and dense stands of fir and aspen. Cordillera's natural setting is as diverse as it is spectacular.

The development programs and natural characteristics of these two areas present their own unique design challenges and opportunities. For example, architectural styles and building materials appropriate for the semi-arid sage covered hillsides of The Divide are different from styles and materials that are appropriate for The Ranch. In response to these diverse site characteristics, different design themes and guidelines have been established for these two areas.

The design characteristic establishes a basis for the overall architectural and landscape character of Cordillera, and as such, plays an important role in defining how the community will develop. A variety of factors were considered during the development of these design themes. Foremost among these factors is that the design of buildings and site improvements must have a relationship to the natural characteristics of the site.

A number of distinctive sub-areas, or neighborhoods, are found throughout Cordillera. The neighborhoods are distinguished primarily by the natural characteristics such as existing vegetation, geology, geography or orientation. In other cases, a neighborhood may be defined by its development program.

An important concept of the Cordillera Design Guidelines is to recognize the unique characteristics of these neighborhoods with specific architectural and landscape guidelines. As neighborhoods are developed, additional design guidelines may be added to this document. These guidelines may set forth distinctive design themes or establish specific development controls designed to preserve views and trees, minimize the visual impact of development or respond to wildlife considerations.

The Cordillera Design Guidelines include separate architectural and landscape guidelines sections for The Divide and The Ranch. Included within these two sections is a description of the design character that outlines the overall design goals for each area. In order to implement the desired design, these sections include specific architectural and landscape guidelines unique to each area. The architectural and landscape guidelines provide specific parameters for the design and development of all improvements. Other sections of this document pertain to both The Divide and The Ranch and include Site Planning Guidelines, Construction Regulations, Design Review Board Organization, Design Review Board Procedures and Appendices.

The Cordillera Design Guidelines provide the primary tool for guiding the design of all development in Cordillera. These guidelines are not, however, the only document that addresses design and development in Cordillera. For example, the Cordillera P.U.D. Guide and the Declaration of Protective Covenants, Conditions and Restrictions include additional standards pertaining to the development of Cordillera that should be reviewed during the design process. In addition to these guidelines, additional information regarding design and construction in Cordillera is available from the Cordillera Design Review Board. This information pertains

to environmental considerations, wildlife, geology and other factors that should be considered prior to initiating development in Cordillera.

The Cordillera Design Guidelines are a dynamic document that will evolve over time as the community develops. As with any design review process, the Design Review Board is responsible for interpretation and implementation of these guidelines. Interpretations of appropriate design solutions by the Design Review Board may vary depending upon site- specific conditions. In addition, these guidelines may undergo revisions from time to time. It is the responsibility of the owners and their design teams to obtain the current copy of the Cordillera Design Guidelines and any supplemental guidelines governing any and all development on their sites.

SECTION 3.01.00 THE DIVIDE DESIGN GUIDELINES

The Divide is located on high hillsides and dramatic ridgelines that afford spectacular vistas of surrounding valleys and mountain ranges. Development within The Divide is characterized by single family home sites.

The architectural design for The Divide has its roots in the regions of central and southern Europe. This style is best illustrated by the design of rural buildings found in Belgium, the Catalonian region of Spain and the southern and central provinces of France.

The inspiration for these designs came from the subtle similarities found in the landscape of The Divide and these areas of Europe. In addition, these areas share significant design influences such as warm sunlight and open vistas. The architectural style in these European provinces is characterized by simple, repetitive building forms with symmetric primary facades and symmetric floor plans. This somewhat formal style is typically enhanced by the use of high quality exterior materials and rich architectural detailing.

It is not the intention of these guidelines to encourage the literal duplication of the traditional home found in the French countryside or Catalonian region. Rather, the design of buildings in The Divide should reflect an interpretive expression of the architectural style typically associated with these European regions. Buildings in The Divide should convey the character and heritage of these places, while at the same time reflect the mountain heritage of western Colorado.

Compliance with The Divide design theme can be achieved through the use of building forms, materials, colors, and architectural details that are characteristic of these European regions. In doing so, it is imperative that the design be consistent within a single project, and that the adaptation or conformance with a specific European regional style be carried out in a legitimate and faithful manner. Blending or mixing building elements from a variety of European sources within a single structure and the superficial copying of an existing building is discouraged.

The design theme for The Divide is further defined by the following architectural and landscape design guidelines.

3.02.00 THE DIVIDE SITE PLANNING GUIDELINES

3.02.01. Introduction

- A. Site planning involves the location and orientation of buildings, driveways and other improvements on a lot. Due to the topography, ridge lines and general terrain found in Cordillera, site planning is a particularly important part of the design process. Generally, buildings should be sited to maximize the attributes of a site while minimizing the disturbance of the site's natural features. A well-designed site plan must be done in concert with the architectural and landscape design of the site.
- B. The overall form, massing and location of a building should be designed in response to the natural landforms and topography of a site. On steep sites, buildings should be designed to step with site contours. In order to minimize site grading, level changes can be incorporated into a building to create a composition of forms rather a single massive structure on a single level. Building forms and roof lines should relate to surrounding landforms and natural slopes. Careful consideration must also be given to driveways and access when locating a building on a site.
- C. The following guidelines apply to all phases of single family residential development within Cordillera.

3.02.02. Building Envelopes

- A. A building envelope has been defined for most single family residential lots in Cordillera. The purpose of defining building envelopes is to reduce uncertainty of neighbors as to the location of future construction and to help ensure that structures blend with the surrounding landscape and minimize impacts on the natural characteristics of the site. Building envelopes have been determined based on the topography and natural features of each site, views, and the relationship to adjacent building envelopes.
- B. All building construction including but not limited to dwellings, garages, swimming pools and storage buildings shall be located entirely within the described envelope, unless approved by DRB.
- C. Entertainment and recreational facilities, including but not limited to playing areas, picnic shelters, and playgrounds shall be located entirely within the described envelope, unless approved by DRB.
- D. Roof overhangs or any other appurtenance or protuberance may extend no more than 18 inches beyond the vertical plane of the building envelope provided such extension is above grade and does not negatively impact adjacent neighbors, with approval from DRB.
- E. Owners of multiple contiguous properties may combine the building envelopes into one building envelope with an equal or lesser square footage. The Design Review Board and Eagle County must approve the vacation of the property line and building envelope amendment. Structures on contiguous lots cannot exceed the maximum allowable building square footages for structures on single lots.
- F. DRB may allow (unless specifically prohibited elsewhere in the Cordillera Design Guidelines) patios and decks located outside the building envelope provided they are constructed with a low profile as outlined in the Cordillera Design Guidelines and as defined in this PUD Guide, have no railings, and cover less than 5% of the building envelope area.
- G. DRB may allow (unless specifically prohibited elsewhere in the Cordillera Design Guidelines) lawns, gardens, low-lying entertainment and recreation facilities, including but not limited to fire pits, hot tubs, and bocce courts located outside a building envelope.

3.02.03. Setbacks

All building envelopes are located within required property setback lines. As such, there are no setback requirements on lots that contain building envelopes. For lots that do not have designated building envelopes, refer to the Cordillera PUD for the proper setbacks.

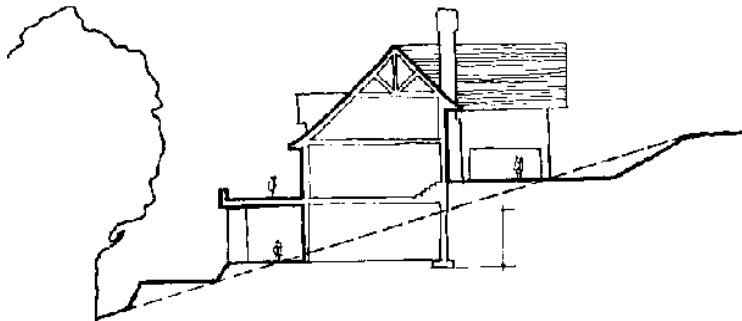
3.02.04. Building Sites

- A. Most building sites in Cordillera have some degree of slope, and as such, the locations of buildings and site improvements are a key component of the design process. The underlying goal of site planning guidelines is for all buildings, structures and site improvements to be integrated with the natural features of a site. Building form, orientation and massing should respond to natural landforms, drainage patterns, topography, vegetation, views, and sun exposure. Buildings should step with the site, accomplishing level changes through a composition of forms rather than extensive site grading. Building forms and roof lines should relate to site contours and surrounding land forms. Exposed building profiles atop ridge lines and harsh angular forms which are in contrast to natural slopes should be avoided.
- B. The location and design of buildings should minimize disturbance to existing vegetation on a site. Building footprints that run perpendicular to the general slope of the site should be avoided. Access should also be considered during the site planning and building design process. Effective site planning can minimize

the need for extensive cut and fill slopes to accommodate site access. Refer to the section on Driveways for guidelines on the design of driveways.

3.02.05. Grading and Drainage

- A. Site development and construction shall minimize impacts upon the existing natural landforms and drainage patterns. In no instances shall the design and construction of improvements on a lot cause a condition that leads to soil erosion. Erosion control measures are outlined in the Construction Regulations section of this document.
- B. The modification of existing contours should be limited to the extent necessary to accommodate the development of a site. In order to minimize site disturbance, all improvements must be designed in response to the existing contours of a site. With the exception of grading for site access, all grading should be limited to areas within the building envelope.
- C. Cut and fill slopes should be kept to a minimum by utilizing the natural contours of a lot in the design of buildings and site improvements. The maximum allowable cut is twelve feet. When cut and fill slopes cannot be avoided, they shall be feathered into the existing terrain and re-vegetated to blend with adjacent vegetation. Final grading of long slopes should be designed to avoid unnaturally broad, flat surfaces. Allowable slopes for cut and fill banks should be based upon site specific soil characteristics, but in no case should they be greater than a 2:1 slope. Re-contouring of large areas or “over lot” grading is prohibited. Finish grading shall be consistent with existing contours. This includes areas between retaining walls and for areas assigned to native planting areas. Flatter areas are permitted within the manicured areas at the discretion of the Design Review Board.



- D. The location of buildings, structures and other improvements shall not adversely impact or disrupt the natural or existing drainage patterns of the site. Drainage patterns may be modified, but all modifications shall require approval of the Design Review Board. Owners are responsible for controlling the drainage resulting from the development of the site and may not direct water onto another lot unless such a diversion is located within a designated drainage easement. Any improvement made within a right of way or an easement is at risk and subject to repair, replacement or removal at the owner's expense. On enclave sites, a site specific drainage study completed by a registered professional engineer shall be required. Drainage plans for such sites shall provide for on-site detention of 100 year storm flow in excess of historic flow.
- E. Runoff from impervious surfaces, such as roofs, driveways or other paved areas, shall be directed away from building foundations. Drainage shall be directed to natural or improved drainage channels, or dispersed into shallow sloping vegetated areas. Storm drainage shall not connect into sanitary sewer systems. Improvements to minor drainages, or the development of new drainage swales to

accommodate development, shall be constructed as natural grass-lined swales with a minimum two percent gradient. Exposed drainpipe or impervious man-made swale-lining material is unacceptable. Due to the rural character of the development, curb and gutter along driveways is not permitted.

3.02.06. Driveways

Site access is an important consideration in the design and location of a building because of the grade relationship between the access drive and the building footprint. In order to minimize site disturbance and grading, the access driveway's location and grade may dictate the finished floor elevation of a home.

- A. Driveways shall be designed to follow site contours as much as possible and to minimize impacts upon significant plant materials, rock outcroppings, natural contours and drainage patterns. Portions of the driveway, drainage and landscaping within the street right-of-way are the responsibility of the owner. Adequate areas for snow removal and storage should be incorporated into the design. The driveway shall meet the main road at no less than a 75 degree angle for no less than a 20 foot length measured at centerline. Under special site conditions, the Design Review Board may allow the intersection to be less than a 75 degree angle. Indirect, or side loaded access to the garage opening is encouraged.
- B. Grading and modifications to existing site contours should be minimized to the greatest extent possible. Required maximum driveway grades are flush with the road for the first 6 feet (0% grade), then 2-4% for the next 15 feet, and \geq 10% on all other portions of the driveway. The driveway grade may be increased to 12% if there is a snow melt system in place. In addition, driveways should be designed with a 2% negative grade from the center line of the road to the adjacent ditch-line. With the exception of on-site parking areas adjacent to garages, the maximum driveway width shall not exceed 12 feet.
- C. Roadway drainage shall be accommodated by a culvert under the driveway. When culverts are required, culvert ends shall be cut to match the slope. If end walls are used, they shall be constructed of stone or concrete faced with stone to match building materials. Flared metal ends are unacceptable. A culvert detail shall be included with the site plan. For specific guidelines on paving materials refer to the Driveway Paving Materials section of the Landscape Design Guidelines. For specific guidelines on size and length refer to Section 3.02.14 B.
- D. In order to ensure convenient and sensitive site access, certain lots have been designated to share access with other lots. Contact the Cordillera Metropolitan District for a list of such lots.

3.02.07. Parking and Garage

A minimum of three parking spaces shall be provided for each single family dwelling unit. Homes over 5,000 square feet shall require a total of five spaces. All parking shall be located within the building envelope. At least two of the required parking spaces shall be fully enclosed within a garage. The minimum size of indoor parking spaces is 10' x 20' and for outdoor parking spaces is 9' x 18'.

Garages should be attached or semi attached to the main residence. The Design Review Board may, however, approve garages that are physically separated from the main residence if such a design is warranted by existing site contours and will result in a more sensitive design solution. In all cases, the design of the garage shall be compatible with the architecture and materials of the main residence. Garages shall have no more than three bays 25 feet deep maximum, with maximum aggregate footprints of 950 SF.

3.02.08. Snow Storage

A space equal in area to 25% of the parking and driveway areas shall be available for snow storage.

3.02.09. Exterior Equipment and Satellite Dishes

- A. All outdoor mechanical and electrical equipment, such as metering devices, transformers and air conditioning units shall be concealed from the view of adjacent lots and public spaces. Wall mounted equipment shall be enclosed with material to match exterior wall material of the residence. Refer to the Retaining Walls, Landscape Walls, Fences and Screening section of the Landscape Design Guidelines for appropriate means of screening free-standing equipment. Window or wall-mounted air conditioning units are not permitted.
- B. Built-in exterior barbecue grills or similar outdoor entertainment facilities may be allowed on terraces and patios provided the exterior walls of the built-in appliances are constructed of a similar material as the exterior of the residence. Stone is an appropriate materials; wood siding is not.
- C. Satellite dishes no larger than 24" in diameter may be approved by the Design Review Board provided the dish presents no significant adverse visual impacts on adjacent lots or public roadways. Dishes shall be sited to minimize their visibility from adjacent lots and public roadways. The dish shall be painted to blend with surrounding buildings or landscape. In addition, landscape materials shall be utilized to screen the dish. Rooftop installations are not permitted, unless approved by DRB.
- D. Flagpoles must be located within a building envelope and must be indicated on the site plan. Location and materials are subject to DRB review and approval.

3.02.10. Recreational Facilities and Equipment

- A. All lots must have a primary structure before any accessory structures, recreational facilities or improvements can be approved.
- B. All recreational facilities, structures and improvements, including swimming pools, shall be located within the building envelope, unless approved by DRB. Permanent or temporary overhead structures to cover recreational facilities are not permitted. Open structures, such as trellis and pergolas, may be allowed, but must be approved by the Design Review Board. Walls, fences or landscaped screens may be required to reduce the visual impact of recreational facilities from adjacent properties.
- C. Sporting equipment such as volleyball, basketball, hockey or other sporting equipment may be permitted provided they are fully screened from adjacent lots and cannot be attached to the building.
- D. Trampoline location must be identified to DRB for approval and concealed from the view of adjacent lots.
- E. Swing sets, jungle gyms, play sets etc. must be fully screened from adjacent lots and have no bold colored parts.
- F. Any other equipment that is recreational in nature and is meant to be situated permanently outside of the home must be approved by the DRB and fully screened from adjacent lots and roadways.
- G. Due to the existing topography and extensive grading that would be required to create a flat buildable surface, tennis courts are not permitted in Cordillera.
- H. Artwork, fire pits, hot tubs and water features refer to section 3.04.15 – 3.04.18 in Landscape Design Guidelines.

3.02.11. Easements and Utilities

- A. Utility and drainage easements have been established across each lot to facilitate drainage and the

installation and maintenance of all utilities. No grading, site improvements, or landscape materials that may damage or interfere with utilities or drainage shall be permitted within these easements. Notwithstanding the above, landscape plans shall address easement areas and in all instances re-vegetation shall be required for all areas within easements that have been disturbed during the installation of individual residential utilities.

- B. Connections to all utilities including water, sewer, gas, electricity, telephone and cable television shall be installed underground from existing trunk lines. Utility connections from main service lines to individual buildings shall be located to minimize disruption of the site and existing vegetation. Utility meters shall be located on the home. Utility boxes on the site shall be enclosed and screened in accordance with local utility guidelines.
- C. Where sewer is unavailable, sewage disposal systems for single-family residential lots shall be installed pursuant to Eagle County regulations for septic tanks and leach fields. The location of the sewage disposal system must be approved by the Design Review Board. Unless specifically approved by the Cordillera Master Plan or other zoning regulations, the drilling of individual wells is not permitted. All water and sewer line taps must be inspected and approved by the Eagle River Water and Sanitation District prior to backfill.

3.02.12. Signage

- A. All signage, including project identification, construction and address must have approval of the Design Review Board prior to installation.
- B. One temporary construction sign not to exceed 20 square feet shall be permitted on each lot. The removal of construction signs shall be required prior to the Final Inspection. Details of the construction sign allowance may be found in Section 7.02.23 of the Construction Rules and Regulations.
- C. No real estate “for sale” signs shall be permitted on individual lots. Refer to Construction Rules and Regulations Section 7.02.24
- D. The enclave communities are permitted one project identification sign at each entrance to the project from the main access road. A project sign may be up to twenty square feet and shall be designed as an element of a stone wall.
- E. All residences are required to have house number placed on the residence in a visible location from the street. The numbers must be a minimum 6 inches in size and a minimum 6 feet off of the ground. The color of the numbers should be brass or another contrasting approved color by the DRB. If the home is not visible from the road an alternate, approved form of signage be erected near the street to make the address visible.
- F. All residences, not visible from road, are required to have a street address sign that is located adjacent to driveway access, visible from the road and comply with county regulations. The address marker must be cleared of snow and debris, by the homeowner or their representative, so that the numbering on such address marker is visible at all times. Residential identification signs shall be illuminated and a minimum size of one square foot and maximum of four square feet. Refer to section 3.04.14 Address Marker in the Landscape Design Guidelines.

3.02.13. Wetlands

A number of lots in Cordillera are impacted by wetlands. Contact the Cordillera Metropolitan District for a list of such lots. When feasible, wetlands located within individual building envelopes should be preserved as

an amenity. When impacts from access drives or structures cannot be avoided, it is the owner's responsibility to obtain all necessary permits from the Army Corps of Engineers.

3.02.14. Improvements in the Right-of-Way:

The term "Right-of-Way," shall apply to all platted road rights-of-way and Access Easements that are owned or maintained by the Cordillera Metro District ("District"). All requests for driveway cuts, driveways, retaining walls, landscaping, berms, address markers, fences, light bollards, and any other work or construction of any kind in the Right-of-Way must be submitted to the District for a permit. Permit applications shall be submitted to the Design Review Board coordinator who shall make a recommendation to the District Board for approval, conditional approval or denial. Final disposition of all requests shall be made by the District Board only. Any approvals by the Design Review Board of building plans outside the Right-of-Way do not apply to improvements in the Right-of-way or Access Easements. Any improvements made within a right of way or an easement, are at risk and subject to repair or replacement at the owner's expense.

- A. Landscaping other than native grasses is permitted in the Right-of-Way but no closer to the pavement than six (6) feet under any circumstances. All permanent improvements must be a minimum of six (6) feet from the edge of the pavement. Two (2) feet of gravel shoulder and four (4) feet of ditch must be installed and maintained next to the edge of the pavement, unless the existing grade slopes down into the adjoining property within the six (6) feet. In such cases the existing grade cannot be changed within the Right-of- Way.
- B. Driveways shall be at the grade of the road for the first six (6) feet unless the driveway grade is less than the road grade. Driveways must have a ten (10) foot radius on each side of the driveway. Driveways are permitted to be heated in the Right-of-Way to within two (2) feet of the road pavement. Culverts shall be installed four (4) feet from the edge of the pavement under all driveways unless the grade at the driveway slopes down into the adjoining property. Culverts cannot exceed thirty (30) feet in length: however, if a site dictates a need, owner may request a variance to allow for a larger culvert. Culvert shall be a minimum of twelve (12) inches in diameter and shall be larger if required by the District. Culverts shall have a minimum cover of twelve (12) inches. All driveways and culverts must be inspected and approved by the District before the driveway is paved. Maintenance of all culverts and ditches after construction of the driveway is the responsibility of the District.
- C. All work of any kind including the installation of improvements in the Right-of Way, including a driveway; require approval by the issuance of a permit as noted above. Such permit, if granted, shall constitute a revocable license. The application for a revocable permit is available from the Design Review Board Coordinator and must be approved by the Cordillera Metropolitan District. All revocable permits except for a non-heated driveway will be recorded with the Eagle County Clerk and Recorder.

3.03.00. THE DIVIDE ARCHITECTURAL GUIDELINES

3.03.01. Introduction

- A. While the architectural design for The Divide calls for relatively simple building forms, many opportunities are available to add character and interest to buildings. Buildings in The Divide should be enriched by the introduction of building details such as decorative features accenting door and window openings, gates, balconies and railings, deck and patio surfaces, chimneys and dormers and corbels. In concert with the overall architectural style, details should be consistent in their origin and interpretation throughout the building.

- B. In addition to detailing, a major architectural feature of buildings in The Divide are strong, heavy walls. Exterior walls should include a liberal use of natural stone and stucco to express mass and create the appearance of a building that has grown from its site. Roof pitches are generally quite steep with substantial overhangs. Roofs are typically comprised of a single major roof plane and other secondary roof planes. Roof dormers are frequently used to reinforce building symmetry. Consistent use of similar exterior materials and colors will assure visual compatibility and help establish an image of lasting quality.
- C. The following architectural guidelines outline specific design considerations to be addressed during the design process. While the design theme calls for buildings to reflect the heritage of European provinces, it is also important that the design of buildings respond to existing site characteristics and climatic considerations. For example, in addition to reflecting the design style, roof forms should be designed with regard to solar orientation, snow shedding and other factors specific to Cordillera. A successful design solution will reflect the desired design style while also responding to practical local design considerations.

3.03.02. Building Size

Single family residences shall have a minimum footprint of 1,100 square feet and a maximum footprint of 15,000 square feet. Building footprint is calculated by the outside dimensions of the building foundation, excluding porches, patios or other unroofed areas.

The overall floor area of enclosed habitable space for single family residences shall be 2,500 square feet at a minimum and 15,000 square feet at a maximum. If any ground floor space is 7 feet high or less with no egress, it will be considered uninhabitable square footage. If any ground floor space is higher than 7 feet and/or has egress, it will be considered habitable square footage.

3.03.03. Building Height

The building height limit for each homesite at the Divide at Cordillera is 35 feet. There are height limitations on certain lots within the Divide. Contact the Design Review Coordinator for more information. Maximum allowable building heights are not intended to imply that all portions of a building may be built to the maximum allowable height limit. Rather, building height and massing shall be designed in relationship to the characteristics of each site and in all cases buildings shall be designed with a low-profile understated appearance.

- A. Building massing should emphasize horizontal scale and form. Building scale should be reinforced by varied building heights, off-sets in building elevations, well-proportioned fenestration, decks and balconies, and architectural detailing.
- B. Low-Level one to two story building mass is encouraged.
- C. Buildings should be designed as a composition of additive forms; large structures and continuous unbroken building forms should be avoided.
- D. Consideration should be given to home sites designed as a composition of smaller building forms clustered around outdoor spaces such as courtyards, porches, or verandas.
- E. Building forms should step with the existing natural contours of the site and be designed to nestle into existing terrain.

- F. Building height is calculated as follows: Buildings shall be designed at a maximum height of 35 feet, or as defined by any Supplemental or Site Specific Development and Design Guidelines. Any selected reference point on the roof surface that sits directly above the interior space of the house must be measured from existing grade. If the reference point, however, is outside the building footprint (such as eaves and rakes), then the height measurement is from existing or finish grade, whichever is more restrictive. Chimneys and other ancillary elements may be exceptions, with Design Review Board approval.
- G. Existing grade is defined as the natural topography that exists prior to any homeowner improvements taking place.
- H. Finish grade for purposes of these height calculations is the final elevation of the surface material (soil, paving, or patio) adjacent to the building as shown on the architect's site plan. Berming or building up grades around the perimeter of a building for the purpose of satisfying building height requirements shall be prohibited.
- I. In addition to the height limit established by the definition above, buildings must also comply with building height limits as defined by Eagle County. In most cases, buildings that comply with the height definition above will also comply with the Eagle County height definition. Owners and their design team should consult the Eagle County Land Use Regulations for additional information on how Eagle County calculates building height limits.
- J. Building heights on lots within Filing No. 32 will be limited as indicated on the final approved plat. No structure, roof ridge, or any other improvement to the home sites will be allowed to pierce the planes defining the height restrictions of the approved building envelope other than vent stacks and chimneys. Each building permit application shall include cross sectional elevations sufficient to determine conformance with the height limitations approved on the final plat.

Note: Due to the topography of The Divide, maximum building ridge elevations have been established for certain lots. These limitations are more restrictive than the 35' height limitation

Flat roofs are not permitted as a primary roof form. Flat roofs may be used only in minor, secondary areas of the building such as entryways, porte cocheres, deck enclosures or other similar features. Flat roofs are not to be used in conjunction with major roof forms or massing of the building.

Substantial roof overhangs of at least 24" and wide fascias shall also be incorporated into the design of roofs. Roofs should be designed with consideration to snow accumulation and shedding. Entryways, garages, and pedestrian areas should be protected from potential snow shedding. This can be achieved most effectively by the form and slope of the primary and secondary roof and by dormers. The use of snow fences or other mechanical devices is encouraged, particularly to provide protection to exposed snow shed areas.

- B. Primary roofs shall have a pitch of at least 8:12 with a maximum pitch of 14:12. Building designs having the primary roof pitch at less than 8:12 may be considered based upon the merits of the individual design and its overall conformance to the spirit of the design guidelines. The roof pitch of secondary roofs shall be complementary to the primary roof. This is not to imply that the pitch of secondary roofs must be the same as primary roofs. Secondary roof pitches may vary from the primary roof. With the exception of small flat roof sections, the pitch of secondary roofs should generally be at least 3:12.
- C. Roof dormers are an important element of building design. Used effectively, dormers can break up the mass of a structure and reinforce building symmetry. Dormers should be designed and located relative to the style and overall proportional balance of the roof and building. Dormers shall be used in lieu of skylights for both functional and style reasons. Skylights are not allowed. Dormer forms may be gable, hip, or shed. Shed dormers should not exceed more than 2/3 of the primary roof plane. In order to effectively break up the mass of a structure, the front face of large shed dormers should be recessed at least 2' from the eave line of the roof.
- D. Roofs should be relatively simple and as such, the design and location of ancillary elements such as flues, vents, mechanical equipment, snow fences and clips, heat tapes and lightning rods are very important in order to minimize roof clutter. Ancillary elements should be designed to be compatible with the primary roof and to not create a visual distraction. All flues and vents should be consolidated and enclosed in stone or stucco. In the event that the consolidation and enclosure of all flues and vents is not feasible, the Design Review Board may approve unenclosed flues and vents provided they are small in size and painted to match the roof color.

When used, snow guards should be fastened to the basic roof structure by steel connections and brackets. Horizontal fencing members may be of steel, painted to match the roof color, or log. Snow clips may be of copper or painted metal.

- E. Roof materials and colors should be selected to blend with the terrain and soils found in The Divide. Roofs shall generally be constructed of unit pieces such as natural slate, concrete tile, and clay tile. Concrete or clay tiles may be flat or have a curved profile and shall have a non-glazed or non-reflective surface. "Shake" profile, glazed tiles, ceramic tiles, asphalt shingles, fiberglass shingles, and cedar shingles are not permitted. Alternative materials may be considered and approved at the sole discretion of the Design Review Board as long as the materials meet the intent of the guidelines. Refer to the Exterior Colors section for a description of appropriate roof colors.

In accordance with Resolution 8, Series 2004 Cedar shake roofs are no longer allowed in Cordillera in an effort to reduce wildfire hazards.

- F. All exposed roof and vent flashing, gutters, downspouts, and other miscellaneous roofing metal devices other than snow guards shall be made of copper or other suitable alternatives as may be approved by the Design Review Board. In all cases, such materials shall be compatible with the colors and materials of the residence and community.
- G. Cold roofs are strongly encouraged in order to prevent or reduce ice damming and icicle buildup on eaves. Cold roof design should include a continuous air flow space between eave vents and ridge vents. Attention should be given to the venting of dormers, secondary roof areas, and hip ridges to prevent heat build-up or lack of air flow. If cold roofs are not used, full ice and water guard coverage will be necessary.

3.03.05. Exterior Walls

The use of a relatively limited range of exterior wall materials and colors will assure overall visual compatibility throughout The Divide. Exterior walls should be characterized by strong simple forms constructed of stone or stucco. Exterior walls should visually emerge from the ground, express mass and convey a sense of strength and permanence. Mass walls should be predominantly off-white or light colored stucco, and accented with beige and gray stone or brick. Walls can be complemented with natural colored wood in sheathing fascias, exposed trusses, extended rafters and purlins, half-timber framing, balconies, doors, and sheathing on soffits, gables, and secondary wall areas.

- A. The scale of buildings should be established with a composition of additive wall surfaces and rectangular building forms. Change of directions, off-sets, and the placement of windows and doors should be used to reduce the visual scale of walls. Large monolithic structures and expansive, uninterrupted wall planes should be avoided.
- B. In order to maintain coherence, the number of exterior wall materials used on a building should be limited to no more than three materials. Stone, stucco and other plaster-like finishes are the most prominent exterior wall material and should be used around the base of all buildings. The composition of exterior wall materials is particularly important. Materials should be integrated with the overall design of the building. Arbitrarily stratifying wall materials should be avoided. Exterior walls constructed entirely of wood shall not be permitted.
- C. In principle, stucco and other plaster-like finishes should be used as the finished material on three-dimensional forms to create strong, massive walls rather than a two-dimensional, planar surface coating. In that regard, stucco walls should be formed with eased corners and deeply set openings then covered with hand applied stucco. Deep reveals for window and door openings are encouraged and can be enhanced by built up cornices, moldings, or trim. Niches and reveals can be used to accentuate openings for light fixtures, artwork, and other decorative features. Stucco surfaces should be hand trowelled to present an informal, irregular surface with a soft, undulated appearance. Synthetic stucco systems such as Surewall and La Habra may be used as long as the appearance is consistent with the design style criteria. Spray-on textures or skip-trowel finishes are not permitted.
- D. Used, reclaimed or weathered clay brick may be used on secondary wall areas or in pattern with stone.
- E. The use of ceramic or glazed tile may be permitted, however such tiles should be limited to very minor accent areas such as address numbers, window or door trim, or other artistic accents. All tiles shall be non-reflective applications.
- F. The use of stone on exterior walls is an important element of the design style and as such the use of stone is required on all buildings. At a minimum, at least 15% of the exterior wall area of each building shall

consist of stone. Stone should emanate from the ground to provide a solid base to the structure. Large expanses of stone shall not appear to be supported by stucco. Typical applications of stone are around the base of buildings, at building entries, around windows or along building corners. Stone used as a wall surface may be laid in a random pattern surrounded by cut or trimmed borders, or laid in a pre-established pattern such as ashlar or random ashlar. Stone material should have a relatively flat surface area such as sandstone or quarried field stone. The use of rounded stone such as alluvial rock or river rock is not permitted. Mortar joints should be flush or partially raked. Imitation or manufactured stone shall not be permitted. Refer to the section on Exterior Colors for a description of appropriate stone colors.

- G. Timber and log may be used as expressed structure in conjunction with stucco to present a “half-timber” pattern on exterior walls. Such half-timber treatment should express a rational reflection of the building form and structure through trusses, columns, beams, and bracing. Half-timber members must have the appearance of the timber or log being embedded in the plaster rather than being a surface application. The proportion and scale of timbers and logs must be representative of their true or implied structural requirements. To avoid the appearance of log homes, the use of timber or log a siding is not permitted.

Timbers must be solid members. Logs must be hewn to their natural shape or rectangular. Milled logs will not be permitted. Stacked, round log walls with interlocking ends are not consistent with the design theme and are not permitted.

- H. Buildings in The Divide are characterized by decorative and functional trim such as window sills and headers; door frames, sills, and headers; eave and rake fascias, and corner or encasing stone set in stucco. Cut sandstone or wood timber should be used for window and door sills and headers. Fascias should be made of multiple pieces of wood or formed stucco and shall be consistent with the overall massing of the structure. All building designs shall have lookout beams, exposed rafter tails and braces to express structure.
- I. In order to further define the design theme and establish continuity between buildings, exterior wall materials should be limited to the materials described above. At the discretion of the Design Review Board, materials other than those specifically listed may be approved. Uses of the following materials are inappropriate with The Divide’s design theme and are specifically prohibited:
- Cedar roof
 - Imitation Stone or Imitation Brick
 - Concrete (either masonry units, precast or formed), and Cinder Block
 - Plywood or Composition Siding Including T1 11 or other Hardiboard Materials
 - Asphalt Shingles or Shakes
 - “shake” profile
 - Metal siding
 - Glu-lam Beams
 - Glass Block
 - Any material not listed the DRB may deem to be of inferior quality.

3.03.06. Windows and Doors

- A. Windows and doors offer the opportunity to provide individual character and refinement of scale by introducing openings and patterns on plaster and stone walls. Consideration should be given to locating doors and windows in order to establish symmetry on primary facades, while being responsive to interior functions and view opportunities.

- B. Windows offer many opportunities to reinforce the design style. On stone or stucco walls, deep reveals of 6" to 8" are very characteristic of the design style. The design of windows "set within the wall" on all sides is required. Windows can also be trimmed with timber or stone sills and lintels. Traditional rectangular windows are encouraged by the Design Review Board. Other window configurations may be permitted provided that a traditional divided light pattern is incorporated into the design. Circular windows are not allowed. Bay windows may be used to enhance views and provide interest to exterior walls. Dormers shall be used in lieu of skylights for both functional and style reasons. Skylights are not allowed.
- C. Window casings shall be made of wood with exterior finishes stained, painted or clad in metal or vinyl. Colors on clad windows must be factory applied. Mirrored or reflective glass is prohibited. If shutters are used, they are to be designed as operable shutters or give the full illusion of operable shutters. This can be achieved by properly sizing shutters to cover the window and including appropriate hardware.
- D. True Divided Light ("TDL") In order to maintain a smaller scale, large window openings should be composed of smaller panes of glass and muntin bars in proportion with the scale of the building. Muntin bars are required in a consistent pattern throughout the home. Snap-in grids are not permitted. Undivided glass at primary view windows may be permitted as long as they are in composition with divided sidelights and transoms. All other locations must have a traditional pattern of divided lights.
- E. Richly detailed doors are also very characteristic of the design style. Exterior doors, especially main entry doors, should be designed with great attention to detail in order to create an individual identity for the building. Doors should be made of wood, glass, or metal. Hardware for exterior doors and windows, including hinges, latches, handles, and pulls should be designed with artistic expression and constructed of materials such as wrought iron, polished brass, bronze, or copper.

3.03.07. Balconies and Railings

- A. Properly located balconies on sunny exposures can provide pleasant outdoor spaces. Balconies can either be recessed into the wall mass or project from exterior walls. With projected balconies, consideration must be given to protection from snow shedding from overhead roofs. The underside of projecting balconies must be finished with wood siding or stucco to match exterior wall materials.
- B. Balconies should be sized according to individual rooms or functions within the building, and should be proportional to the overall exterior elevation of the building. Long horizontal expanses of continuous or repetitive balconies should be avoided.
- C. Balcony railings offer an opportunity to express individual character within the context of the design theme. Balcony railings should be light in appearance with a significant portion of the area left open by using narrow pickets or railing patterns constructed of wrought iron or wood. The use of wood framing material or painted tube steel on balcony railings is not permitted.

3.03.08. Foundations

- A. In keeping with Cordillera's design philosophy, one of the primary objectives of the design process is to create a close integration of the building with its site and landscape. The design of foundations is an extremely important aspect of integrating these elements. Foundations and finished site grading should be designed so that the building appears to emerge from the ground. Foundation walls above finished grade shall be covered with stone or stucco.
- B. On sloping sites, foundations should be stepped with the contours to avoid high retaining walls or

extensive cut or fill slopes. Suspending building masses and cantilevered buildings may be permitted. Where possible, building foundations should be designed to visually link with landscape walls in order to reinforce the visual harmony between buildings and the landscape.

- C. Due to the nature of soil and geology of mountain building sites a site specific geotechnical report shall be required for each site. All foundations, footings, retaining walls and related drainage systems shall be designed by a licensed engineer.

3.03.09. Chimneys

- A. Chimneys are a strong visual element of a home and should be designed in relationship to the form and materials of the building. Chimneys will be constructed of stucco or stone and incorporate cut stone caps or decorative metal spark arresting “roofs”. Fireplace flues as well as mechanical flues and vents should be consolidated and enclosed within the chimney. All exposed metal flues or pipes on the roofs shall be enclosed in stone, stucco, or painted to match the approved roof color.
- B. In accordance with Eagle County Regulations, no more than one wood burning device per residence is permitted. The proposed wood burning device must be clean burning, utilizing a catalytic converter, and must be an EPA approved product.

3.03.10. Exterior Color Scheme

The selection of exterior colors should be made based on two major influences. First, colors should reflect the heritage of buildings in the European provinces which form the basis of the design theme for The Divide. Typically, buildings in these provinces are in the range of light and subdued colors. Secondly, colors should respond to the natural colors found in the soils, rocks, and vegetation of the site. Colors with ties to indigenous materials will lessen the visual contrast of buildings and allow a strong integration of landscape and structure.

- A. Exterior Walls: Based upon the historic precedent of The Divide design theme, stucco walls should be in tones of off-white through light grey and light buff. Wood timbers, logs, and siding should convey the natural umber, ocher, and sienna colors of the wood itself. The color of stone should relate to the natural colors of the site, primarily buff and grey tones. River rock is not permitted.
- B. Roofs should be constructed of non-reflective material in subdued colors that blend the building into its landscape setting. While the selection of roof color should be made based on site-specific characteristics, typically natural slate colors of grey-purple through grey-green or tiles in grey, green, and brown tones will be most consistent with the soil and rock colors of the area.
- C. Primary and secondary accent colors should be reserved for artistic applications to highlight special building features such as doors, window trim, and signage. Vegetation colors, particularly from wildflowers on the site, provide an excellent palette for accent colors.

3.03.11. Solid Waste Collection and Service Areas

Adequate areas shall be provided for trash containers and storage areas for patio furniture, firewood and maintenance and recreational equipment. Storage areas incorporated within the building are preferred. However, if storage areas are outside, such areas shall be enclosed or screened from view from public areas and from adjacent properties. The enclosures or screens shall be compatible with the overall style, form and materials of the residence. Refer to Retaining Walls, Landscape Walls, Fences and Screening for additional guidelines. Trash containers shall be designed to prevent access by wildlife and domestic animals and shall not be left outside overnight.

3.03.12. Fire Protection

- A. All permanent buildings shall include a sprinkler type fire suppression system. Consult the Eagle County Building Department for additional information regarding specifications for such systems.
- B. All residence shall have a Knox Box located near the garage door or front door and must be highly visible.

3.03.13. Accessory Buildings and Accessory Uses

- A. Accessory buildings are to remain within the building envelope, unless approved by DRB.
- B. Pursuant to Cordillera’s P.U.D. Guide, planning parcels are designated for certain uses. Residential development within Cordillera is intended to serve one family living together in a dwelling unit. A dwelling unit is defined by the Eagle County Land Use Regulations to mean: one or more rooms in a dwelling occupied by one family living independently of any other family, and having not more than one indoor kitchen facility which is limited to the use of the one family.
- C. In some areas caretaker units are allowed and only by a purchased right. According to the Eagle County Land Use Regulations a caretaker is defined to mean: a person who is not the owner of the land but who is employed by the owner to maintain the land and structures on it. Additionally, pursuant to the Eagle County Land Use Regulations and the PUD Guide for Cordillera (Exhibit G), there are 32 caretaker units allowed in the Western Parcel and 14 in the Chaveno Parcel. Moreover, a caretaker unit is defined to mean: a dwelling unit which is accessory to the principal use of the property, and is designed and intended for occupancy by the caretaker of said property; provided that the caretaker unit shall not be sold separately from the main dwelling, must be an integral part of the primary dwelling, shall not exceed 25% of the total building floor area, and shall only be permitted on lots greater than one half acre in size.
- D. In some areas Cordillera’s P.U.D. Guide does allow for accessory buildings and uses. An accessory structure or accessory use is defined by the Eagle County Land Use Regulations to mean: a structure less than 850 square feet and which does not contain habitable space or a use incidental and subordinate to the main use of the property and which is located on the same lot as the main use. All accessory buildings and accessory uses must be approved by the Design Review Board and located within the building envelope. All applicants to the Design Review Board must submit a Statement of Primary and Accessory Use prior to receiving final Design Review Board approval. Bed and Breakfast Home Occupation is specifically prohibited.
- E. All lots must have a primary structure before any accessory structures, recreational facilities or improvements can be approved.

3.03.14 Contiguous Lots

The DRB recognizes a contiguous lot, which has a primary residence adjacent, as an extension of the property.

- A. A contiguous lot which is associated with a primary residence shall be allowed to have development rights such as improvements or structures on the property, if allowed per PUD and approved by DRB.
- B. A lot not associated to a primary residence is not a contiguous lot and will not be allowed to have development rights such as improvements or structures on the property.
- C. A contiguous lot which is sold as a single lot must conform to vacant lot standards; all improvements and/or structures must be removed and returned to original state. Owners shall, at their own cost and expense, remove such structures or improvements and restore the land to substantially the same

condition as existed prior to the nonconforming work per Declaration of Protective Covenants, Conditions, and Restrictions, Section 7.05 – Enforcement.

- D. Owners of multiple contiguous properties may combine the building envelopes into one building envelope with an equal or lesser square footage. The Design Review Board and Eagle County must approve the vacation of the property line and building envelope amendment. Structures on contiguous lots cannot exceed the maximum allowable building square footages for structures on single lots.

3.03.15. Water Conservation

In addition to the landscape irrigation requirements set forth in the Cordillera Design Guidelines, homeowners are encouraged to practice water conservation measure within their homes with respect to efficiently managing their water use.

3.04.00. THE DIVIDE LANDSCAPE DESIGN GUIDELINES

3.04.01. Introduction

- A. The goal of landscape design for The Divide is to integrate development with the inherent scale, form, massing, color and texture of the natural landscape. The dry ridgelines and steep, shale hillsides are sparsely vegetated, allowing for spectacular views to surrounding mountain peaks and the Vail Valley. This subtle and fragile semi- arid landscape calls for landscape design that conserves water and fosters reciprocity between site improvements and existing natural features. Critical to maintaining the overall site characteristics of this delicate environment is the preservation of the existing topography and indigenous vegetation such as sage, pinion pine and juniper.
- B. To this end, landscape plans and grading plans must address two distinct landscape zones and the creation of a defined edge between these two zones. The first of these, the native landscape area, includes portions of the lot outside of the building envelope. The native landscape area is to remain predominantly undisturbed during site development. Re-vegetation of the native landscape area should erase traces of disturbance and recreate the character of the site using indigenous plants. The manicured landscape area is the second zone and generally includes areas within the building envelope. This area allows for a more formal landscape treatment adjacent to the building. Ornamental plants and manicured lawns are permitted, but such features should be minimized to conserve water and maintain the natural character of the site. Finally, landscape plans should define a transition from the native to manicured landscape areas. This can be accomplished in a number of ways; retaining walls, acting as the separation between the manicured and the native area are one example.
- C. The design intent for landscaping within The Divide is not to replace all existing natural vegetation and features with lush lawns, gardens, ornamental plants and other man- made elements. Nor is it the intention to specifically deny the opportunity to modify the existing landscape in order to effectively compliment buildings, structures or other improvements. Rather, the objective of these guidelines is to ensure that landscape design effectively blends the built and natural environments.

3.04.02. Cordillera Design Guidelines Wildfire Regulations

- A. To reduce the wildfire hazard, areas of Cordillera have been categorized into four hazard classes corresponding to the degree of wildfire hazard. These classes, listed below, are used to define the extent of mitigation necessary to minimize exposure to wildfire risks. A map illustrating individual lot fire hazard classifications may be viewed at the Cordillera Administration Office. Contact the Cordillera Metropolitan District for assistance with wildfire.

1. Class A is a low hazard category in which mitigation for wildfire hazards is not required.
 2. Class B is a moderate hazard category in which mitigation to reduce wildfire hazards is required.
 3. Class C is a severe hazard category which includes conifer stands with dense crowns, steep slopes, or existing slash of standing dead timber. Mitigation to reduce wildfire hazards is required.
 4. Class X or D is a severe hazard category which includes dense brush vegetation less than ten feet tall. Mitigation to reduce wildfire hazards is required within this class.
 5. Contact the Cordillera Wildfire Manager, 970-926-1923, for further information pertaining to your individual lot.
- B. On all properties less than three (3) acres, the entire lot is mitigated of standing dead and dead fallen trees, in accordance with Eagle County Wildfire Mitigation guidelines. All mitigation must be completed prior to construction beginning.
- C. On properties greater than three (3) acres all dead standing and dead fallen within two hundred ten feet (210 feet) of the home (overhangs) in all directions be mitigated within property lines.
- D. In all properties greater than three (3) acres, the mitigation will not exceed three (3) acres in area; and that there is to be no mitigation outside of the property lines.
- E. No tree shall be planted in an existing fire hazard. Trees planted in an existing fire hazard will be removed and relocated to an area of less fire danger.
- F. The addition of landscaping not be allowed to increase the hazard rating for the overall site.
- G. All plant material within Zone 1 and Zone 2 must comply with both Cordillera Design Guidelines and Eagle County Wildfire Regulations
- H. Zone 1 is to comply with Eagle County Regulations and Cordillera wildfire regulations that increases defensible space to twenty (20) feet, from all decks and overhangs to the drip edge of the tree, and that no conifers or other non-firewise plant materials are within this twenty (20) foot space.
- I. Zone 2 is further defined as one hundred (100) feet from all decks and overhangs.
- J. Please refer to Eagle County Wildfire regulations for a list of approved plant materials.

3.04.03. Native Landscape Area

- A. The native landscape area is generally defined as the portion of the lot located outside the building envelope. The purpose of this area is to maintain a common natural landscape element throughout The Divide. In addition, the native landscape can extend into the building envelope to reinforce the relationship between buildings and landscape. Except for the installation of a driveway, the native landscape area should remain undisturbed during construction. Unless specifically approved by the Design Review Board, all construction, excavation, cut and fill slopes, vegetation and tree removal and other forms of disturbance are prohibited within the native landscape area.
- B. All portions of the native landscape area that are disturbed during construction shall be re-vegetated with plant materials indigenous to The Divide. The introduction of plant materials into the native landscape area that are not indigenous is prohibited. Indigenous plants approved for use in The Divide are listed in Section 3.04.09 List of Recommended Plant Materials. These plants should be selected

according to the microclimatic conditions, natural vegetation patterns, plant geography, plant associations and plant coverage patterns of the existing vegetation on the site.

- C. Temporary above ground irrigation systems to re-establish native vegetation may be permitted subject to approval of the Design Review Board. Temporary systems shall be removed after one growing season, unless additional time is required for vegetation to re-establish. Such an extension requires approval from the Design Review Board. Once vegetation has been re-established, the system shall be removed gradually allowing the newly established vegetation to adjust to natural site conditions. Underground irrigation systems are not permitted in the native areas. Low water usage plants are highly encouraged and a moisture sensor on the irrigation systems is required. Minimum evergreen tree height is 10 feet.
- D. Where the native landscape area meets the structure, a roof drip edge shall be established to mitigate soil erosion from roof runoff. Native planting between the drip edge and the structure is encouraged to accomplish all design goals (framing views, anchoring the structure to the site, etc.).

3.04.04. Manicured Landscape Area

- A. The manicured landscape area is comprised of lawns, planting beds, patios, terraces and other formal landscape improvements. All such improvements shall be located within the building envelope, unless otherwise approved by the Design Review Board. Acceptable plant materials within the manicured areas are low water usage plants adaptable to Zone 4, as defined by the 1990 USDA climate map. Such plants are identified in Appendix B, List of Recommended Plant Materials. Approved plant materials for manicured areas also include ornamental species.

Appropriate locations for ornamental plantings are adjacent to the residence and outdoor living spaces such as patios, decks and front entries. Plantings should frame views, provide privacy, buffer prevailing winds, anchor the corners of the structure to the site and offer seasonal interest.

Trees should be clustered in varying heights and sizes to provide a natural appearance. (Refer to Wildfire regulations section 3.04.02). Refrain from planting in rows. Clusters of no more than 3 evergreen trees, with a distance of 20 feet from all decks, overhangs, other clusters of evergreens and the building, shall range in height from 10' to 14' minimum with each tree identified on the plan.

Slope should be accounted for when assigning heights. Trees in higher profile areas should exceed this height range. Deciduous trees shall range in size from 2" to 3" in caliper minimum. Shrubs must be 5 gallon minimum. It will be at the discretion of the Design Review Board to require larger plant materials as it sees appropriate.

- B. Typical foundation plantings are discouraged, annuals and ornamental plantings are not appropriate outside of the building envelope or along the drive. Generally, native indigenous plant materials should be the predominant landscape feature visible from adjacent properties, streets, or public spaces.
- C. Permanent underground irrigation systems are permitted within landscape areas, provided that such areas do not exceed 2,500 square feet per lot in Kensington Green and designated areas and 5,000 square feet on all other lots. Irrigated area shall be calculated as all ground area covered by overhead spray irrigation. Drip irrigation to specific plant locations shall be included in irrigated area calculations in accordance with the following formula: one gallon pots will equal 1/4 square foot; two gallon pots will equal 1/2 square foot; five gallon pots shall equal 3 square feet, seven gallon pots shall equal 4 1/2 square feet. Individual trees and larger shrubs should be factored accordingly based upon root ball size. Drip irrigation hoses leading to trees located in planting beds must be concealed.

Property owners are encouraged to provide a mix of vegetative types within manicured areas, including shrub beds, perennial beds, trees, container plants, and lawn. Underground irrigation systems may also be used to permanently support native plantings adjacent to manicured landscape areas. However, in order to conserve water, owners are encouraged to minimize irrigated and design irrigation systems that are water efficient. All automatic irrigation systems shall be equipped with a rain sensor which will disengage the irrigation system during periods of rain. With the exception of starter systems as described in the Native Landscape Area section, above ground systems are not acceptable.

- D. Backflow preventers are required with all irrigation systems and remote electrical control valves shall be installed in valve boxes. Manual valves are prohibited. Irrigation controllers shall not be visible on the exterior of the building. The use of typical drip irrigation heads or pop-up heads that conserve water are encouraged. Systems shall be designed so that peak summertime lawn irrigation can be completed between 8 pm and 7 am. The use of a drip zone system is also encouraged.

3.04.05. Transition Zone

The transition zone provides for a smooth planting treatment between the manicured landscape area and the indigenous vegetation of the native landscape area. The intent of this transition zone is to create an edge or zone that clearly contains the manicured landscape area. The transition may be a simple edge such as stone edging or a low landscape wall; or it may be a series of planted terraces or a planting bed.

3.04.06. Kentucky Bluegrass as a Landscaping Element

Pursuant to Cordillera's Water Conservation Plan, the use of Kentucky Bluegrass within Cordillera is strictly limited. Kentucky Bluegrass is not indigenous to the general climate where Cordillera is located and is, therefore, only allowed in site-specific natural moist areas and recreational settings. Any intended use of Kentucky Bluegrass must be clearly stated on the required landscape plans and approved by the Cordillera Design Review Board prior to construction. The Fescue species is an acceptable substitute.

3.04.07. Tree Protection

All trees located outside a 5 foot border, running parallel with the footprint of the proposed building(s) and with a diameter greater than eighteen inches, measured from 3 feet above grade are subject to Design Review Board review and approval. No tree in this category shall be cut, removed, altered or destroyed without the express written approval of the Design Review Board.

3.04.08. Plant Materials

The Divide is bisected by numerous wildlife migration corridors. In order to avoid browsing by deer and elk, it is strongly recommended that plant species which are less palatable to big game be used on lots within or adjacent to movement corridors or winter range habitat.

3.04.09. List of Recommended Plant Materials

- A. The following plant list includes a majority of the indigenous species found within Cordillera. These lists are to be used for re-vegetation of disturbed area and habitat enhancement. Homeowners are encouraged to incorporate indigenous plants into the manicured landscape areas. Selecting the big game resistant plants identified below (*) will reduce or minimize browsing damage by deer and elk. To conserve water homeowners are encouraged to use low water consuming plant species, identified below (+).
- B. Any lot may contain numerous microclimates and plant habitats. It is the Owner's responsibility to introduce indigenous plants into the native landscape areas that are consistent with the existing habitats

types and adapted to the conditions of the specific location. These habitat types have been mapped for the entire Cordillera property. It is recommended that this information be used to determine habitat types on specific lots.

NORTH FACING SLOPES

EVERGREEN TREES

<i>Abies concolor</i>	White Fir
<i>Abies lasiocarpa</i>	Subalpine Fir
<i>Picea engelmannii</i>	Engelmann Spruce *
<i>Picea pungens</i>	Colorado Blue Spruce *
<i>Pinus contorta</i>	Lodgepole Pine +
<i>Pseudotsuga menziesii</i>	Douglas Fir *

DECIDUOUS TREES

<i>Populus angustifolia</i>	Narrow-leaf Cottonwood
<i>Populus balsamifera</i>	Balsam Poplar
<i>Populus tremuloides</i>	Quaking Aspen

SMALL TREES AND SHRUBS

<i>Acer ginnala</i>	Amur Maple
<i>Acer glabrum</i>	Rocky Mountain Maple
<i>Amelanchier alnifolia</i>	Serviceberry +
<i>Arctostaphylos uva-uris</i>	Kinnikinnik
<i>Juniperus communis</i>	Common Juniper *
<i>Mahonia repens</i>	Oregon Grape (Creeping Mahonia) *
<i>Pachistima myrsinites</i>	Mountain-lover
<i>Physocarpus monogynus</i>	Low Ninebark *
<i>Prunus pennsylvanica</i>	Pin Cherry
<i>Prunus virginiana</i>	Chokecherry
<i>Ribes alpinum</i>	Alpine Currant
<i>Ribes aureum</i>	Golden Currant +*
<i>Ribes inerme</i>	Wild Gooseberry
<i>Rosa woodsii</i>	Wood's Rose +
<i>Sambucus pubens</i>	Red-berried Elder
<i>Sambucus racemosa</i>	Elderberry
<i>Shepherdia canadensis</i>	Canada Buffaloberry
<i>Sorbus scopulina</i>	Mountain Ash +
<i>Symphoricarpus albus</i>	Common Snowberry
<i>Symphoricarpus uthaensis</i>	Birchleaf Spiraea
<i>Vaccinium myrtillus</i>	Blueberry
<i>Vaccinium scoparium</i>	Huckleberry

FORBS AND GRASSES

<i>Aquilegia caerulea</i>	Wild Columbine
<i>Arnica cordifolia</i>	Heartleaf Arnica
<i>Calamagrostis rubescens</i>	Reedgrass
<i>Carex geyeri</i>	Elk Sedge

<i>Elymus glaucus</i>	Blue Wildrye
<i>Galium boreale</i>	Bedstraw
<i>Geranium richardsonii</i>	Geranium
<i>Lathyrus leucanthus</i>	Peavine
<i>Thalictrum fendleri</i>	Meadowrue
<i>Vicia americana</i>	Vetch

DRY SUNNY SLOPES

EVERGREEN TREES

<i>Juniperus scopulorum</i>	Rocky Mountain Juniper +
<i>Pinus aristata</i>	Bristle-cone Pine +
<i>Pinus contorta</i>	Lodgepole Pine +
<i>Pinus edulis</i>	Pinyon Pine +*
<i>Pinus flexilis</i>	Limber Pine *

SMALL TREES AND SHRUBS

<i>Amelanchier alnifolia</i>	Serviceberry +
<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
<i>Artemisia cana</i>	Hairy Sage +
<i>Artemisia frigida</i>	Fringed Sage
<i>Artemisia tridentata</i> spp. <i>Vaseyana</i>	Big Sagebrush
<i>Ceratoides lanata</i>	Winterfat +
<i>Cercocarpus intricatus</i>	Dwarf Mountain Mahogany
<i>Cercocarpus montanus</i>	Mountain Mahogany +
<i>Chrysothamnus parryi</i> & spp.	Mountain Rabbitbrush +
<i>Chrysothamnus nauseosus</i>	Rubber Rabbitbrush +
<i>Chrysothamnus viscidiflorus</i>	Low Rabbitbrush +
<i>Clematis liquistifolia</i>	Western Clematis
<i>Fallugia paradoxa</i>	Apache Plume *
<i>Holodiscus dumosus</i>	Rock Spirea
<i>Jamesia americana</i>	Waxflower (Mountain Mock Orange)
<i>Juniperus osteosperma</i>	Utah Juniper +
<i>Mahonia repens</i>	Oregon Grape (Creeping Mahonia) *
<i>Potentilla fruticosa</i>	Shrubby Cinquefoil *
<i>Prunus virginiana</i>	Chokecherry
<i>Purshia tridentata</i>	Antelope Brush (Bitterbrush) +
<i>Quercus gambelii</i>	Scrub Oak +
<i>Rhus glabra</i>	Smooth Sumac +
<i>Rhus trilobata</i>	Skunkbush +*
<i>Ribes cereum</i>	Squaw Currant *
<i>Sorbus scopulina</i>	Dwarf Mountain Ash +
<i>Symphoricarpos oreophilus</i>	Snowberry +
<i>Tetradymia canescens</i>	Horsebrush

FORBS AND GRASSES

<i>Agropyron dasystachyum</i>	Thick Spike Wheatgrass +
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<i>Agropyron smithii</i>	Western Wheatgrass +
<i>Agropyron spicatum</i>	Bluebunch Grass +
<i>Bromus porteri</i>	Nodding Brome +
<i>Castilleja flauva</i>	Paintbrush
<i>Cerastium oreophilum</i>	Mouse-ear
<i>Chenopodium leptophyllum</i>	Goosefoo
<i>Delphinium nuttlaianum and spp.</i>	Larkspur
* <i>Erigeron subtrinervis</i>	Fleabane *
<i>Erigonum subalpinum</i>	Buckwheat *
<i>Erigonum umbellatum</i>	Sulphur Flower +*
<i>Festucia idahoensis</i>	Idaho Fescue
<i>Hedeoma hispida</i>	False Pennyroyal
<i>Heliomeris multiflora</i>	Showy Goldeneye
<i>Koeleria cristata</i>	Junegrass
<i>Lupinus spp.</i>	Lupines +*
<i>Oryzopsis hymenoides</i>	Indian Ricegrass +
<i>Poa compressa</i>	Canadian Bluegrass
<i>Poa secunda</i>	Sandberg Bluegrass
<i>Phlox multiflora</i>	Phlox
<i>Sphaeralcea coccinea</i>	Scarlet Globemallow
<i>Stipa columbiana</i>	Columbia Needlegrass
<i>Stipa comata</i>	Needle-and-thread +
<i>Trifolium gymnocarpon</i>	Hollyleaf Clover

MOIST LOW LYING AREAS ALONG CREEKS AND STREAMS

EVERGREEN TREES

<i>Picea engelmannii</i>	Engelmann Spruce *
<i>Picea pungens</i>	Colorado Blue Spruce
<i>Pseudotsuga menziesii</i>	Douglas Fir *

DECIDUOUS TREES

<i>Populus aciminata</i>	Lanceleaf Cottonwood
<i>Populus angustifolia</i>	Narrow-leaf Cottonwood
<i>Populus balsamifera</i>	Balsam Poplar
<i>Populus fremontii</i>	Fremont Cottonwood
<i>Populus sargentii</i>	Plains Cottonwood
<i>Populus spp. Siouland</i>	Siouland Cottonwood
<i>Populus tremuloides</i>	Quaking Aspen

SMALL TREES AND SHRUBS

<i>Alnus tenuifolia</i>	Rocky Mountain Alder
<i>Betula occidentalis</i>	Rocky Mountain Birch
<i>Carex spp.</i>	Sedges
<i>Ceanothus velutinus</i>	Deer Bush
<i>Cornus stolonifera</i>	Redosier Dogwood
<i>Crataegus douglassii</i>	+ Hawthorn
<i>Juniperus communis</i>	* Mountain Common Juniper
<i>Ledus glandulosum</i>	Western Labrador Tea

<i>Lonicera involucrata</i>	* Bearberry Honeysuckle
<i>Pachystima myrsinites</i>	+ Mountain Lover
<i>Prunus melanocarpa</i>	Western Chokecherry
<i>Ribes coloradense</i>	Colorado Currant
<i>Ribes inerme</i>	Wild Gooseberry
<i>Ribes lacustre</i>	Small-fruited Gooseberry
<i>Ribes wolfii</i>	Wolf's Currant
<i>Rosa woodsii</i>	Woods Rose +
<i>Rubus deliciosus</i>	Thimbleberry
<i>Rubus idaeus</i>	Western Red Raspberry
<i>Rubus parviflorus</i>	Western Thimbleberry
<i>Rubus strigosus</i>	Wild Red Raspberry
<i>Salix geeyeriana</i>	Geyer Willow
<i>Salix monticola</i>	Mountain Willow
<i>Salix pseudomonitcola</i>	Southern Park Willow
<i>Salix scouleriana</i>	Scouler Willow
<i>Salix wolfii</i>	Wolf's Willow
<i>Sambucus melanocarpa</i>	Black Elder
<i>Symphoricarpos oreophilus</i>	Mountain Snowberry
<i>Vaccinium caespitosum</i>	Grouse Whortleberry
<i>Vaccinium myrtillus</i>	Mountain Blueberry
<i>Viburnum edule</i>	Arrowwood Viburnum

AGRICULTURAL AREAS: FORBS AND GRASSES

<i>Agropyron cristatum</i>	Crested Wheatgrass +
<i>Agrostis alba</i>	Redtop
<i>Bromus inermis</i>	Smooth Brome
<i>Dactylis glomerata</i>	Orchardgrass
<i>Phleum pratense</i>	Timothy
<i>Poa pratensis</i>	Kentucky Bluegrass

3.04.10. Retaining Walls, Landscape Walls, Fences and Screening

- A. Retaining walls, low landscape walls, fences and other screening elements are encouraged to facilitate changes in grade, to define exterior living spaces and to transition from the native to manicured landscape areas. The location and alignment of such features should be determined based on site contours and other natural or man- made improvements. Under no circumstances shall walls, screens or fences follow property lines, interfere with wildlife movement corridors or winter range areas. All improvements must have a primary structure on the lot and shall be located within the building envelope, unless approved by DRB.

- B. Materials used to construct retaining and low landscape walls shall be consistent with the materials, textures and colors used on the main building. Generally, walls and screens should be constructed of stucco, stone or a combination of stucco and stone. Walls should emerge from the ground and convey a sense of strength and permanence. Wood and brick are inappropriate materials for walls. Boulder walls or individual boulders utilized in a landscape plan should have at least 1/3 of their mass buried in the ground for structural integrity. Randomly placed boulders, consistent with the structure's stone wall veneer, giving a feel of informality is encouraged. Plant materials are required at the base and top of all retaining walls to soften their appearance. Planting in the spaces between the boulders is encouraged.

- C. Unless otherwise approved by the Design Review board, the maximum vertical face for individual retaining walls shall not exceed six feet. It is recommended that terraced retaining walls be used for extreme grade changes. Terraced walls shall be designed with a minimum of three feet from the back of the lower wall to the face of the upper wall in order to allow for the use of plants between terraces. Walls used to screen service yards, utility tanks, trash containers, storage of patio furniture, and maintenance and recreational equipment shall not exceed six feet. Free-standing low landscape walls used as a transition or to define outdoor spaces should not exceed forty-two inches in height. Allow 2' – 3', for planting, between retaining walls and any other hard surfaces, such as patios or driveways.
- D. When fencing or screening is desired, the use of plant materials is highly encouraged. Wood fences may be used for screening. However, wood fencing such as split rail and picket are inappropriate in The Divide. Ornamental metal fencing may be permitted when used as an accent decoration such as a gate, or to allow for views. The fencing needs to compliment the design, materials and color of the residence. The maximum allowable height is forty-two inches.
- E. Dark colored vinyl clad chain link fencing may be used to enclose dog runs or kennels as long as they are located within the building envelope and are screened from public view. The maximum allowable height for dog kennels and screening is six feet. Dog kennels must be adjacent to the residence and screened with landscape materials.
 1. Kennels shall not exceed 1,000 square feet.
 2. Dog runs or kennels are not permitted on lots that are less than one half acre in size.

3.04.11. Terraces, Patios, Walkways and Decks

- A. Terraces, patios, walkways and decks can serve as an effective transition between the mass of a building and the topography, vegetation and other natural characteristics of a site. The location and size of terraces, patios, walkways and decks should be determined based on the characteristics of the site as well as the location of interior spaces. On above grade decks, support columns and underside of decking shall be finished to match materials used on the main residence. Synthetic decking material is permitted with the approval of the Design Review Board. These improvements must have a primary structure on the lot and shall be located within the building envelope, unless approved by the DRB. Acceptable paving materials for terraces, patios and walkways include flagstone, sandstone, cobbles, brick pavers, concrete pavers and exposed or colored concrete. Porous stone such as slate is unacceptable due to their tendency to spall during freeze thaw cycles.
- B. Care should be taken when designing decks on a sloped site, since the underside of the deck may be unattractive. Public view of the deck bottom should be avoided. Support columns for decks should appear substantial, and be connected to the ground with massive materials such as stone bases or caps. The use of synthetic decking material is permitted with the approval of the Design Review Board.

3.04.12. Driveway Paving Surfaces

Appropriate surfaces for driveways include asphalt, stamped concrete, cobbles, brick pavers and exposed or colored concrete. Gravel and porous stone are unacceptable as paving materials.

3.04.13. Exterior and Landscaping Lighting

The design of exterior lighting is particularly important due to the numerous ridgelines throughout The Divide. The intent of lighting guidelines is to maintain the rural character, preserve the night sky and protect neighboring properties from bright lights and indirect light sources.

- A. All exterior lighting requires cut sheets and approval from the DRB.
- B. Exterior lighting shall be limited to identification signs, security and safety lighting. Project identification signs and residence address signs shall be illuminated and visible from access roadways. Driveways, porches and patios, entrances and pathways may be illuminated for safety and security.
- C. Driveway or pathway lighting shall be low level down lighting, in order to reduce glare to pedestrian or vehicular traffic, with the exception an address marker may have an up light.
- D. Frosted, seeded, opaque, or pitted glass is required for exterior light fixtures. Low wattage bulbs must be installed and will not exceed 60 watts total. Light fixtures with multiple bulbs the total wattage cannot exceed 60 watts.
- E. With the exception of the seasonal display of decorative holiday lighting (between November 15 through January 15, off by 10:00 pm), and small white lights in a reasonable amount of trees (between November 15 through March 15, off by 10:00 pm), the use of this type exterior landscape lighting is not permitted. Spotlights, up- lighting of trees and landscape lighting shall not be permitted.
- F. No exterior light is permitted outside of the building envelope with the exception of the driveway and address marker, unless approved by DRB.
- G. Spotlights and any other large landscape lights shall not be permitted.

3.04.14. Address Marker

An address marker for the residence is required and must have DRB approval.

- A. Address marker must be illuminated with the lighting guidelines outlined in Section 3.04.13 Exterior and Landscaping Lighting.
- B. Address Marker may be located within the right-of-way subject to approval from the DRB and Metro District. Refer to Section 3.02.14 Improvements in the Right-of-Way.
- C. Refer to Section 3.02.12 Signage for additional information on Address Marker or Address Number. The lettering size must comply with Eagle County and Fire Department requirements.
- D. Address markers shall incorporate the architectural styling and materials of the home and integrated within the landscape.

3.04.15. Artwork

Any and all artwork to be displayed on a homesite outside of the dwelling must be located within the building envelope, unless approved by the DRB. The Design Review Board reserves the exclusive right to approve or deny an applicant's request to display artwork outside of the dwelling. No artwork shall be installed, erected, displayed or placed on a homesite without the express written approval of the Design Review Board.

3.04.16. Fire Pits

- A. Fire Pits must be gas fueled with a maximum ¾" pipe and maximum 65,000 BTU, using no solid fuels, including wood or pellets.
- B. The fire pit should be built-in and have a masonry surround that is in the same character as the primary structure.
- C. The size and location must be identified on the plans and approved by the Design Review Board prior to installation.
- D. Fire pits must be located within the building envelope, unless approved by the DRB.

3.04.17. Water Features

The development of any water feature within the landscaping may be disapproved in the event the irrigation calculations exceed the permitted amount.

- A. A self-contained water feature does not affect the irrigation calculation.
- B. All water features must be located within the building envelope, unless approved by DRB.
- C. A water features that enhances an existing stream, pond or spring on the property must have proper documentations regarding permission and water rights from state and local government agencies prior to DRB review.

3.04.18. Swimming Pools and Swimming Pool Structures

The development of swimming pools, whether indoor or outdoor, may be disapproved in the event the irrigation calculations exceed the permitted amount.

- A. Hot tubs are an exception from this provision as long as they are to remain covered when not in use.
- B. Swimming Pool construction including but not limited, attached patios and decks, changing facilities, fences, railings, mechanical and storage buildings shall be located entirely within the described envelope, unless approved by the DRB.
- C. Fencing of pool area is permitted provided that it is located entirely within the building envelope, is no higher than 42” and has a minimum of 12” between the top two wires or boards, or as may be required pursuant to applicable building codes and regulations. The fence design and location must be approved by the Cordillera Design Review Board.
- D. A swimming pool enclosure is permitted provided it is an integral part of the primary structure, is consistent with the architecture of the primary structure, and is located entirely within the building envelope, unless approved by the DRB.

3.04.19. Water Conservation

In addition to the landscape irrigation requirements set forth in the Cordillera Design Guidelines, homeowners are encouraged to practice water conservation measure within their homes with respect to efficiently managing their water use.

3.05.00 FILING NO 4 – MIRADOR RIDGE NEIGHBORHOOD GUIDELINES

3.05.01. Introduction

As indicated in the Cordillera Design Philosophy Statement, there are certain neighborhoods with unique characteristics which require greater sensitivity to the impacts of development on the natural landscape. Mirador Ridge is just such an area. Pursuant to restrictions imposed by Eagle County, development on Mirador Ridge is subject to specific development standards. The restrictions are intended to minimize potential visual impacts of structures constructed within Filing No. 4 through the regulating of visually sensitive elements including but not limited to the building height. The Cordillera Design Guidelines shall be referred to for all design issues not directly addressed herein.

3.05.02. Building Height

Building heights on lots within Filing No. 4 will be limited as indicated on the final approved plat. No structure, roof ridge, or any other improvement to the homesites will be allowed to pierce the planes defining the height restrictions of the approved building envelope other than vent stacks and chimneys. Each building permit application shall include cross sectional elevations sufficient to determine conformance with the height limitations approved on the final plat.

3.05.03. Building Envelopes

Each single family home lot shall have a building envelope described on the Final Plat. All building construction including but not limited to dwellings, attached patios and decks, garages, swimming pools and storage buildings shall be located entirely within the described building envelope, unless approved by the DRB.

Fencing of building envelopes is permitted provided that it is no higher than 42” and has a minimum of 12” between the top two wires or boards. The fence design and location must be approved by the Cordillera Design Review Board.

3.05.04. Building Form

One means of achieving a lower profile building form would be to utilize a less pronounced roof pitch such as 4:12. The method more highly recommended and more consistent with the intent of the Design Theme would be to develop smaller scale, simple additive forms which will tend to step with the profile of the ground, and minimize the need for expansive roof forms. Maintaining low profile roof lines and a clustered composition of moderate scaled building forms will serve to accomplish the desire for buildings which are in harmony with their setting. Hip roofs, whether full or partial, should be used to create a building profile and roof line which conforms to the natural terrain of the sites. Large gable roofs or shed roofs shall be avoided within Filing No. 4.

3.05.05. Color

Exterior color should take into account the natural colors of the site found in the soil, exposed rock and vegetation. Colors of white, light gray and light buff are most acceptable. Wood

timbers, logs and wood siding should convey the natural amber, ocher, and sienna colors of the natural wood itself. Roof colors should be subdued on non-reflective material to blend with the natural landscape, again utilizing the natural colors found on the site.

3.05.06. Building Materials

Exterior building materials are to be non-reflective and primarily of natural materials. Trim – cut stone, stucco, and wood should be utilized as trim material. Copper is a permitted trim material as long as it has been pretreated and oxidized prior to installation.

3.05.07. Windows/Openings

Consideration should be given to reducing window openings on exposed, visually sensitive views (i.e., east and north facing walls). Large window openings on stories above first floor should avoid expanses of glass in excess of 30 square feet. Windows above the first floor should avoid repetitive, linear rows of continuous windows or curtain walls. Penetrations of roofs for window openings (i.e., skylights) shall be prohibited on north and east exposures.

3.05.08. Landscape

Because Filing No. 4 is located upon a highly exposed ridge line, it is necessary for buildings on this site to respond sensitively to the appearance of the landscape. Certainly we would hope that development on these lots would take best advantage of the views that are naturally provided. But, the overall composition of building and landscape should place primary importance on maintaining the natural terrain profile and enhancing the existing plant communities.

The Landscape Design Guidelines for “The Divide” convey a defined distinction between native landscape areas and the more manicured areas of landscaping. On all of the lots within Filing No. 4, the landscape design should confine manicured areas to courtyards and lawns immediately adjacent to the house, with a containment “edge” to create distinction between the natural vegetation and the manicured landscape improvements. The overall landscape appearance should “feather” naturally into adjoining existing plant communities of grasses, shrubs, and trees... with use of the existing on-site species to be prominent in the planting plan. With this method of landscaping, there will be less visual impact of a man-made imposition

upon this hillside, and a more natural appearance will be attained.

3.05.09. Harrington Penstemon

Harrington Penstemon populations exist on some of the lots within Mirador Ridge. All areas of disturbance including the building envelopes and driveways must be mitigated by the lot owner. Refer to the Cordillera Design Guidelines for mitigation requirements

3.06.00 RENEWABLE ENERGY GUIDELINES

3.06.01 Use of Photovoltaic Panels

- A. In an effort to help the environment the use of photovoltaic panels within Cordillera is regulated.
- B. Photovoltaic panels can be used on structures within Cordillera as long as the panels are integrated into the design of the structure and approved by the Design Review Board.
- C. Free standing solar arrays are prohibited on sites less than 35 acres. On sites greater than 35 acres all alternative energy improvements must be approved by the Design Review Board.

3.06.02 Use of Wind Turbines

The use of wind turbines are prohibited on all sites smaller than 35 acres. On sites greater than 35 acres all alternative energy improvements must be approved by the Design Review Board.

3.06.03 Renewable Energy Use on Existing Structures

All renewable energy sources must be approved by the Design Review Board prior to installation. All installations must be integrated into the structure. A licensed architect must provide elevations for review as part of the overall process of adding renewable energy to an existing structure.

3.06.04 Process for adding renewable energy to an existing structure

- A. Application for addition of renewable energy systems (DRB Application requesting a modification) must be submitted to the Design Review Board on the fourth Thursday of the month. This submittal must contain the following:
 - Submittals must include drawings or photos of existing conditions, and drawings of the proposed modification.
 - Copy of the report provided by the installer. This should contain location of installation, specifications of equipment to be used and a solar report (if applicable).
- B. The application and submission will be reviewed for completeness and scheduled for the next scheduled Design Review Board meeting.
- C. Parties involved will be notified of time and place of the Design Review Board meeting.

SECTION 4.01.00. THE RANCH DESIGN GUIDELINES

The Ranch lies in the high alpine meadows and forested slopes above Squaw Creek. The natural landscape is characterized by a quilt of grassy meadows defined and surrounded by aspen, spruce, and fir woodlands. Dramatic views of the surrounding mountains are highlighted by the snowcapped Gore Range, the New York Mountains and the Continental Divide.

To a great extent, the landscape was formed by, and shares a heritage with, the early Colorado homesteaders who opened and irrigated the high meadows for ranching and farming. The Ranch was settled by the Fenno family, one of many ranching families in the Squaw Creek area who found an eager market for agricultural products in the booming gold and silver mining towns of Leadville and Fulford.

The Master Plan for The Ranch is characterized by a series of low density residential neighborhoods situated within the natural landscape

The design style for The Ranch is based upon the heritage of its location in the mountains of the American West. The romantic yet elegantly rustic lodges like the Old Faithful Lodge at Yellowstone, Timberline at Mt. Hood, and the alpine shelters and lodges of Glacier National Park establish the context of this design theme. This western heritage is further defined by the simple, direct, yet picturesque ranch buildings still seen on the lower mountain slopes and valleys of Western Colorado.

While the design style has its origin in the early, rustic mountain structures of the American West, the overall design goal for The Ranch is to create innovative structures and architectural solutions which respond to current lifestyles and incorporate up-to-date building technology. The intent is not to mimic the false fronts of cowboy towns, recreate rustic lodges or reproduce simple log cabins. Rather, design solutions should advance an architecture which responds to its location and respects its regional heritage.

The architectural style expresses a direct use of natural materials which are an outgrowth of their setting and which have an appropriate scale to the surrounding mountains. Massive stone abutments, large timber trusses and heavy log framing are examples of materials typically associated with this theme.

4.02.00. THE RANCH SITE PLANNING GUIDELINES

4.02.01. Introduction

- A. Site planning involves the location and orientation of buildings, driveways and other improvements on a lot. Due to the topography, ridge lines and general terrain found in Cordillera, site planning is a particularly important part of the design process. Generally, buildings should be sited to maximize the attributes of a site while minimizing the disturbance of the site's natural features. A well-designed site plan must be done in concert with the architectural and landscape design of the site.
- B. The overall form, massing and location of a building should be designed in response to the natural landforms and topography of a site. On steep sites, buildings should be designed to step with site contours. In order to minimize site grading, level changes can be incorporated into a building to create a composition of forms rather a single massive structure on a single level. Building forms and roof lines should relate to surrounding land forms and natural slopes. Careful consideration must also be given to driveways and access when locating a building on a site.

The following guidelines apply to all phases of single family residential development within Cordillera.

4.02.02. Building Envelopes

- A. A building envelope has been defined for most single family residential lots in Cordillera. The purpose of defining building envelopes is to reduce uncertainty of neighbors as to the location of future construction and to help insure that structures blend with the surrounding landscape and minimize impacts on the natural characteristics of the site. Building envelopes have been determined based on the topography and natural features of each site, views, and the relationship to adjacent building envelopes.
- B. All building construction including but not limited to dwellings, garages, swimming pools and storage buildings shall be located entirely within the described envelope, unless approved by DRB.
- C. Entertainment and recreational facilities, including but not limited to playing areas, picnic shelters, and play grounds shall be located entirely within the described envelope, unless approved by DRB.
- D. Roof overhangs or any other appurtenance or protuberance may extend no more than 18 inches beyond the vertical plane of the building envelope provided such extension is above grade and does not negatively impact adjacent neighbors, with approval from DRB.
- E. Owners of multiple contiguous properties may combine the building envelopes into one building envelope with an equal or lesser square footage. The Design Review Board and Eagle County must approve the vacation of the property line and building envelope amendment. Structures on contiguous lots cannot exceed the maximum allowable building square footages for structures on single lots.
- F. DRB may allow (unless specifically prohibited elsewhere in the Cordillera Design Guidelines) patios and decks located outside the building envelope provided they are constructed with a low profile as outlined in the Cordillera Design Guidelines and as defined in this PUD Guide, have no railings, and cover less than 5% of the building envelope area.
- G. DRB may allow (unless specifically prohibited elsewhere in the Cordillera Design Guidelines) lawns, gardens, low-lying entertainment and recreation facilities, including but not limited to fire pits, hot tubs, and bocce courts located outside a building envelope.

4.02.03. Setbacks

All building envelopes are located within required property setback lines. As such, there are no setback requirements on lots that contain building envelopes. For lots that do not have designated building envelopes, refer to the Cordillera PUD for the proper setbacks.

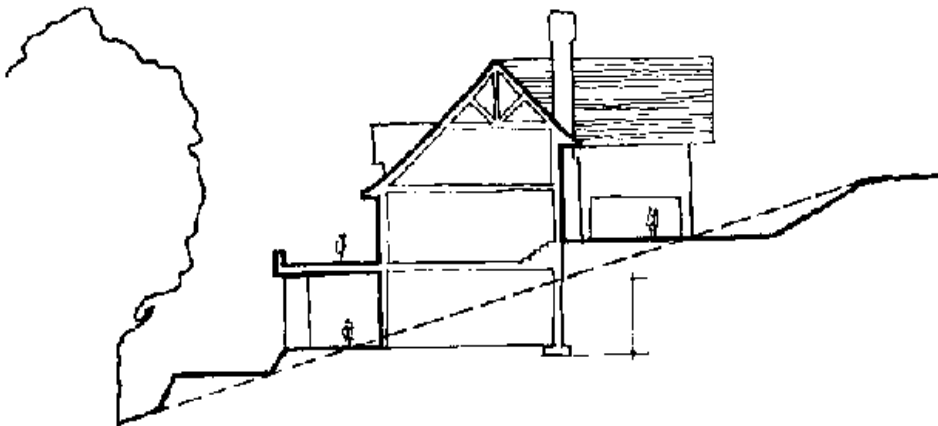
4.02.04. Building Siting

- A. Most building sites in Cordillera have some degree of slope, and as such, the locations of buildings and site improvements are a key component of the design process. The underlying goal of site planning guidelines is for all buildings, structures and site improvements to be integrated with the natural features of a site. Building form, orientation and massing should respond to natural landforms, drainage patterns, topography, vegetation, views, and sun exposure. Buildings should step with the site, accomplishing level changes through a composition of forms rather than extensive site grading. Building forms and roof lines should relate to site contours and surrounding land forms. Exposed building profiles atop ridge lines and harsh angular forms which are in contrast to natural slopes should be avoided.

- B. The location and design of buildings should minimize disturbance to existing vegetation on a site. Building foot prints that run perpendicular to the general slope of the site should be avoided. Access should also be considered during the site planning and building design process. Effective site planning can minimize the need for extensive cut and fill slopes to accommodate site access. Refer to the section on Driveways for guidelines on the design of driveways.

4.02.05. Grading and Drainage

- A. Site development and construction shall minimize impacts upon the existing natural landforms and drainage patterns. In no instances shall the design and construction of improvements on a lot cause a condition that leads to soil erosion. Erosion control measures are outlined in the Construction Regulations section of this document.
- B. The modification of existing contours should be limited to the extent necessary to accommodate the development of a site. In order to minimize site disturbance, all improvements must be designed in response to the existing contours of a site. With the exception of grading for site access, all grading should be limited to areas within the building envelope.
- C. Cut and fill slopes should be kept to a minimum by utilizing the natural contours of a lot in the design of buildings and site improvements. The maximum allowable cut is twelve feet. When cut and fill slopes cannot be avoided, they shall be feathered into the existing terrain and re-vegetated to blend with adjacent vegetation. Final grading of long slopes should be designed to avoid unnaturally broad, flat surfaces. Allowable slopes for cut and fill banks should be based upon site specific soil characteristics, but in no case should they be greater than a 2:1 slope. Re- contouring of large areas or “over lot” grading is prohibited. Finish grading shall be consistent with existing contours. This includes areas between retaining walls and for areas assigned to native planting areas. Flatter areas are permitted within the manicured areas at the discretion of the Design Review Board.



- D. The location of buildings, structures and other improvements shall not adversely impact or disrupt the natural or existing drainage patterns of the site. Drainage patterns may be modified, but all modifications shall require approval of the Design Review Board. Owners are responsible for controlling the drainage resulting from the development of the site and may not direct water onto another lot unless such a diversion is located within a designated drainage easement. On enclave sites, a site specific drainage study completed by a registered professional engineer shall be required. Drainage plans for such sites shall provide for on-site detention of 100 year storm flow in excess of historic flow.

- E. Runoff from impervious surfaces, such as roofs, driveways or other paved areas, shall be directed away from building foundations. Drainage shall be directed to natural or improved drainage channels, or dispersed into shallow sloping vegetated areas. Storm drainage shall not connect into sanitary sewer systems. Improvements to minor drainages or the development of new drainage swales to accommodate development shall be constructed as natural grass-lined swales with a minimum two percent gradient. Exposed drain pipe or impervious man-made swale-lining material is unacceptable. Due to the rural character of the development, curb and gutter along driveways is not permitted.

4.02.06. Driveways

Site access is an important consideration in the design and siting of a building because of the grade relationship between the access drive and the building footprint. In order to minimize site disturbance and grading, the access driveway's location and grade may dictate the finished floor elevation of a home.

- A. Driveways shall be designed to follow site contours as much as possible and to minimize impacts upon significant plant materials, rock outcroppings, natural contours and drainage patterns. Portions of the driveway, drainage and landscaping within the street right-of-way are the responsibility of the owner. Adequate areas for snow removal and storage should be incorporated into the design. The driveway shall meet the main road at no less than a 75 degree angle for no less than a 20 foot length measured at centerline. Under special site conditions, the Design Review Board may allow the intersection to be less than a 75 degree angle. Indirect, or side loaded access to the garage opening is encouraged.
- B. Grading and modifications to existing site contours should be minimized to the greatest extent possible. Required maximum driveway grades are flush with the road for the first 6 feet (0% grade), then 2-4% for the next 15 feet, and > or = to 10% on all other portions of the driveway. The driveway grade may be increased to 12% if there is a snow melt system in place. In addition, driveways should be designed with a 2% negative grade from the center line of the road to the adjacent ditch-line. With the exception of on-site parking areas adjacent to garages, the maximum driveway width shall not exceed 12 feet.
- C. Roadway drainage shall be accommodated by a culvert under the driveway. When culverts are required, culvert ends shall be cut to match the slope. If endwalls are used, they shall be constructed of stone or concrete faced with stone to match building materials. Flared metal ends are unacceptable. A culvert detail shall be included with the site plan. For specific guidelines on paving materials refer to the Driveway Paving Materials section of the Landscape Design Guidelines. For specific guidelines on size and length refer to Section 4.02.15 B.
- D. In order to ensure convenient and sensitive site access, certain lots have been designated to share access with other lots. Please contact the Community Resource Coordinator for a list of such lots.

4.02.07. Parking and Garages

- A. A minimum of three parking spaces shall be provided for each single family dwelling unit. Homes over 5,000 square feet shall require a total of five spaces. All parking shall be located within the building envelope. At least two of the required parking spaces shall be fully enclosed within a garage. The minimum size of indoor parking spaces is 10' x 20' and for outdoor parking spaces is 9' x 18'. Garages shall have no more than three bays 25 feet deep maximum, with maximum aggregate footprints of 950 SF.
- B. Garages should be attached or semi attached to the main residence. The Design Review Board may, however, approve garages that are physically separated from the main residence if such a design is warranted by existing site contours and will result in a more sensitive design solution. In all cases, the

design of the garage shall be compatible with the architecture and materials of the main residence.

4.02.08. Snow Storage

A space equal in area to 25% of the parking and driveway areas shall be available for snow storage.

4.02.09. Exterior Equipment and Satellite Dishes

- A. All outdoor mechanical and electrical equipment, such as metering devices, transformers and air conditioning units shall be concealed from the view of adjacent lots and public spaces. Wall mounted equipment shall be enclosed with material to match exterior wall material of the residence. Refer to the Retaining Walls, Landscape Walls, Fences and Screening section of the Landscape Design Guidelines for appropriate means of screening free-standing equipment. Window or wall-mounted air conditioning units are not permitted.
- B. Built-in exterior barbecue grills or similar outdoor entertainment facilities may be allowed on terraces and patios provided the exterior walls of the built-in appliances are constructed of a similar material as the exterior of the residence. Stone is an appropriate materials; wood siding is not.
- C. Satellite dishes no larger than 24" in diameter may be approved by the Design Review Board provided the dish presents no significant adverse visual impacts on adjacent lots or public roadways. Dishes shall be sited to minimize their visibility from adjacent lots and public roadways. The dish shall be painted to blend with surrounding buildings or landscape. In addition, landscape materials shall be utilized to screen the dish. Rooftop installations are not permitted, unless approved by DRB.
- D. Flagpoles must be located within a building envelope and must be indicated on the site plan. Location and materials are subject to Design Review Board review and approval.

4.02.10. Recreation Facilities

- A. All lots must have a primary structure before any accessory structures, recreational facilities or improvements can be approved.
- B. All recreational facilities, structures and improvements, including swimming pools, shall be located within the building envelope, unless approved by DRB. Permanent or temporary overhead structures to cover recreational facilities are not permitted. Open structures, such as trellis and pergolas, may be allowed, but must be approved by the Design Review Board. Walls, fences or landscaped screens may be required to reduce the visual impact of recreational facilities from adjacent properties.
- C. Sporting equipment such as volleyball, basketball, hockey or other sporting equipment may be permitted provided they are fully screened from adjacent lots and cannot be attached to the building.
- D. Trampoline location must be identified to DRB for approval and concealed from the view of adjacent lots.
- E. Swing sets, jungle gyms, play sets etc. must be fully screened from adjacent lots and have no bold colored parts.
- F. Any other equipment that is recreational in nature and is meant to be situated permanently outside of the home must be approved by the DRB and fully screened from adjacent lots and roadways.

- G. Due to the existing topography and extensive grading that would be required to create a flat buildable surface, tennis courts are not permitted in Cordillera.
- H. Artwork, fire pits, hot tubs and water features refer to section 4.04.00 Landscape Design Guidelines.

4.02.11. Easements and Utilities

- A. Utility and drainage easements have been established across each lot to facilitate drainage and the installation and maintenance of all utilities. No grading, site improvements, or landscape materials that may damage or interfere with utilities or drainage shall be permitted within these easements. Notwithstanding the above, landscape plans shall address easement areas and in all instances revegetation shall be required for all areas within easements that have been disturbed during the installation of individual residential utilities.
- B. Connections to all utilities including water, sewer, gas, electricity, telephone and cable television shall be installed underground from existing trunk lines. Utility connections from main service lines to individual buildings shall be located to minimize disruption of the site and existing vegetation. Utility meters shall be located on the home. Utility boxes on the site shall be enclosed and screened in accordance with local utility guidelines.
- C. Where sewer is unavailable, sewage disposal systems for single-family residential lots shall be installed pursuant to Eagle County regulations for septic tanks and leach fields. The location of the sewage disposal system must be approved by the Design Review Board. Unless specifically approved by the Cordillera Master Plan or other zoning regulations, the drilling of individual wells is not permitted. All water and sewer line taps must be inspected and approved by the Eagle River Water and Sanitation District prior to backfill.

4.02.12. Signage

- A. All signage, including project identification, construction and address must have approval of the Design Review Board prior to installation.
- B. One temporary construction sign not to exceed 20 square feet shall be permitted on each lot. The removal of construction signs shall be required prior to the Final Inspection. Details of the construction sign allowance may be found in Section 7.02.23 of the Construction Rules and Regulations.
- C. No real estate “for sale” signs shall be permitted on individual lots. Refer to Construction Rules and Regulations Section 7.02.24
- D. The enclave communities are permitted one project identification sign at each entrance to the project from the main access road. A project sign may be up to twenty square feet and shall be designed as an element of a stone wall.
- E. All residences are required to have house number placed on the residence in a visible location from the street. The numbers must be a minimum 6 inches in size and a minimum 6 feet off of the ground. The color of the numbers should be brass or another contrasting approved color by the DRB. If the home is not visible from the road an alternate, approved form of signage be erected near the street to make the address visible.
- F. All residences, not visible from road, are required to have a street address sign that is located adjacent to driveway access, visible from the road and comply with county regulations. The address marker must be cleared of snow and debris, by the homeowner or their representative, so that the numbering on such

address marker is visible at all times. Residential identification signs shall be illuminated and a minimum size of one square foot and maximum of four square feet. Refer to section 4.04.13 Address Marker in the Landscape Design Guidelines.

4.02.13. Wetlands

A number of lots in Cordillera are impacted by wetlands. When feasible, wetlands located within individual building envelopes should be preserved as an amenity. When impacts from access drives or structures cannot be avoided, it is the owner's responsibility to obtain all necessary permits from the Army Corp. of Engineers.

4.02.14. Improvements in the Right-of-Way

The term "Right-of-Way," shall apply to all platted road rights-of-way and Access Easements that are owned or maintained by the Cordillera Metro District ("District"). All requests for driveway cuts, driveways, retaining walls, landscaping, berms, address markers, fences, light bollards, and any other work or construction of any kind in the Right-of-Way must be submitted to the District for a permit. Permit applications shall be submitted to the Design Review Board coordinator who shall make a recommendation to the District Board for approval, conditional approval or denial. Final disposition of all requests shall be made by the District Board only. Any approvals by the Design Review Board of building plans outside the Right-of-Way do not apply to improvements in the Right-of-way or Access Easements. *Any improvements made within a right of way or an easement, are at risk and subject to repair or replacement at the owner's expense.*

- A. Landscaping other than native grasses is permitted in the Right-of-Way but no closer to the pavement than six (6) feet under any circumstances. All permanent improvements must be a minimum of six (6) feet from the edge of the pavement. Two (2) feet of gravel shoulder and four (4) feet of ditch must be installed and maintained next to the edge of the pavement, unless the existing grade slopes down into the adjoining property within the six (6) feet. In such cases the existing grade cannot be changed within the Right-of-Way.
- B. Driveways shall be at the grade of the road for the first six (6) feet unless the driveway grade is less than the road grade. Driveways must have a ten (10) foot radius on each side of the driveway. Driveways are permitted to be heated in the Right-of-Way to within two (2) feet of the road pavement. Culverts shall be installed four (4) feet from the edge of the pavement under all driveways unless the grade at the driveway slopes down into the adjoining property. Culverts cannot exceed thirty (30) feet in length: however, if a site dictates a need, owner may request a variance to allow for a larger culvert. Culvert shall be a minimum of twelve (12) inches in diameter and shall be larger if required by the District. Culverts shall have a minimum cover of twelve (12) inches. The culvert must extend minimum of (8) inches on either side of the drive. All driveways and culverts must be inspected and approved by the District before the driveway is paved. Maintenance of all culverts and ditches after construction of the driveway is the responsibility of the District.
- C. All work of any kind including the installation of improvements in the Right-of Way, including a driveway; require approval by the issuance of a permit as noted above. Such permit, if granted, shall constitute a revocable license. The application for a revocable permit is available from the Design Review Board Coordinator and must be approved by the Cordillera Metropolitan District. All revocable permits except for a non-heated driveway will be recorded with the Eagle County Clerk and Recorder.

4.03.00. THE RANCH ARCHITECTURAL GUIDELINES

4.03.01. Introduction

- A. In the broadest sense, the design style for The Ranch is based on a respect for the natural environment and the introduction of buildings that are in harmony with their setting. Buildings should complement rather than overpower the landscape.
- B. This design style calls for buildings to blend with their sites so that when viewed from a distance, overall building forms and massing respond to natural landforms and topography. Buildings should step with the site, accomplishing level changes through composition of forms rather than massive site grading. Building forms and roof lines should relate to surrounding land forms. Exposed profiles on ridge lines and harsh angular forms which are in conflict with natural slopes should be avoided. The use of exterior materials and colors with ties to indigenous site characteristics will lessen the visual contrast of buildings and allow a strong integration of landscape and structure.
- C. Overall, the building forms in The Ranch should be understated and simple, having an appearance of being added on to over time. The architecture is enriched by handcrafted details that thematically convey an understanding of the region's folklore, wildlife, and flora. Details may be expressed in ironwork, carved wood, etched glass, stone, woodwork, trim and joinery.

4.03.02. Building Size

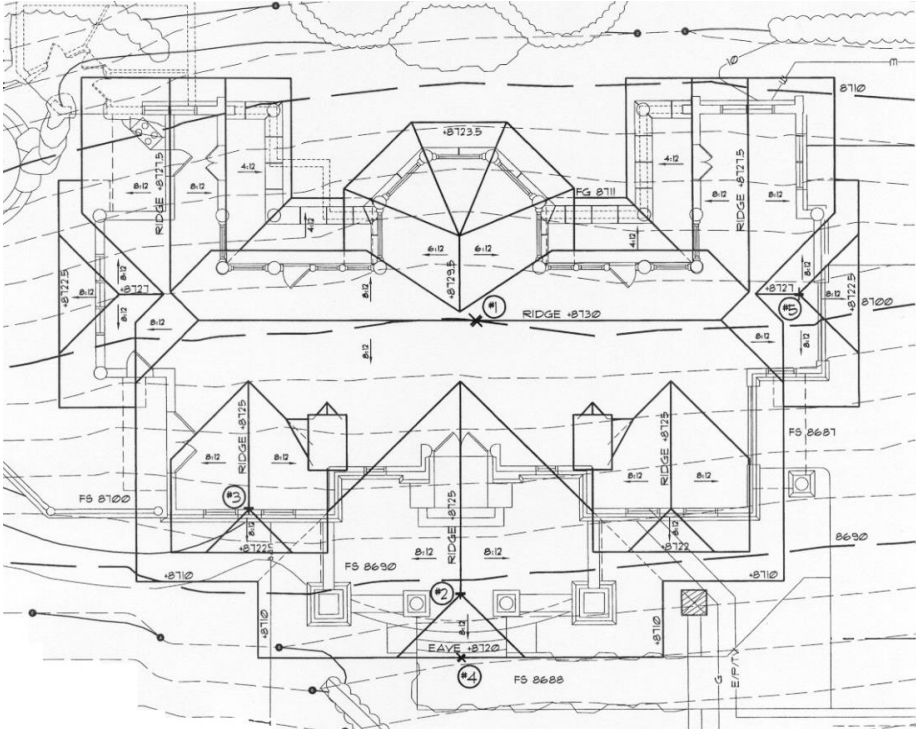
Single family residences shall have a minimum footprint of 1,100 square feet and a maximum footprint of 15,000 square feet. Building footprint is calculated by the outside dimensions of the building foundation, excluding porches, patios or other unroofed areas. The overall floor area of enclosed habitable space for single family residences shall be 2,500 square feet at a minimum and 15,000 square feet at a maximum. If any ground floor space is 7 feet high or less with no egress, it will be considered uninhabitable square footage. If any ground floor space is higher than 7 feet and/or has egress, it will be considered habitable square footage.

4.03.03. Building Height

The building height limit for each homesite at the Cordillera is 35 feet. Height limitations are found in the Lot Development Standards located in the Appendix of these Guidelines. Maximum allowable building heights are not intended to imply that all portions of a building may be built to the maximum allowable height limit. Rather, building height and massing shall be designed in relationship to the characteristics of each site and in all cases buildings shall be designed with a low-profile understated appearance.

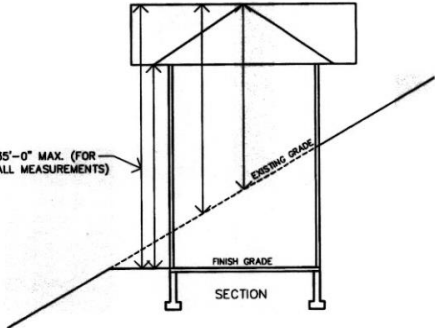
- A. Building massing should emphasize horizontal scale and form. Building scale should be reinforced by varied building heights, off-sets in building elevations, well-proportioned fenestration, decks and balconies, and architectural detailing.
- B. Low-Level one to two story building mass is encouraged.
- C. Buildings should be designed as a composition of additive forms; large structures and continuous unbroken building forms should be avoided.
- D. Consideration should be given to homesites designed as a composition of smaller building forms clustered around outdoor spaces such as courtyards, porches, or verandas.
- E. Building forms should step with the existing natural contours of the site and be designed to nestle into existing terrain.

- F. Buildings shall be designed at a maximum height of 35 feet, or as defined by any Supplemental or Site Specific Development and Design Guidelines. Any selected reference point on the roof surface that sits directly above the interior space of the house must be measured from existing grade. If the reference point, however, is outside the building footprint (such as eaves and rakes), then the height measurement is from existing or finish grade, whichever is more restrictive. Chimneys and other ancillary elements may be exceptions, with Design Review Board approval.
- G. Existing grade is defined as the natural topography that exists prior to any homeowner improvements taking place.
- H. Finish grade for purposes of these height calculations is the final elevation of the surface material (soil, paving, or patio) adjacent to the building as shown on the architect’s site plan. Berming or building up grades around the perimeter of a building for the purpose of satisfying building height requirements shall be prohibited.



Ridge +8730	#2	Ridge +8725
E.G. -8700		F.S. -8690
30 ft.		35 ft.
Ridge +8725	#4	Eave +8720
E.G. -8693		F.S. -8688
32 ft.		32 ft.
Ridge +8727		E.G. - Existing Grade
-8700.5		F.G. - Finish Grade
26.5 ft.		F.S. - Finish Stone

MAXIMUM ALLOWABLE HEIGHT – 35 ft.



- I. In addition to the height limit established by the definition above, buildings must also comply with building height limits as defined by Eagle County. Owners and their design team should consult the Eagle County Land Use Regulations for additional information on how Eagle County calculates building height limits.

Note: Due to the topography of The Ranch, maximum building ridge elevations have been established for certain lots. These limitations are more restrictive than the 35' height limitation. Contact the Cordillera Metropolitan District for a list of such lots.

4.03.04. Roofs

Roofs are a very prominent visual element of a building and as such provide a strong unifying characteristic between buildings. Consistent roof forms are also an important element in support of the design style for The Ranch. A simple pattern of primary and secondary roof forms, dormers, and a limited palette of materials and colors are the primary design objectives for roofs.

A. Form

Roof forms should be relatively simple and limited to gable, hip and shed type roofs. In order to assure interesting form and reduction of visual scale, roofs should be comprised of primary and secondary roof planes. For shed roofs, no more than 40% of the total roof may be designed as a single-plane. For gable roofs, no more than 75% of the total roof may be designed as a single gable. The composition, scale, appearance, surfaces and overall proportional balance of the volumes should be considered on a building.

Substantial roof overhangs of at least 24" for primary roof forms and at least 18" on secondary roof forms. Fascias constructed of multiple layers of wood shall also be incorporated into the design of roofs. If rafter tails are exposed, narrower fascia materials may be used. Flat roofs are not permitted as a primary roof form.

B. Pitch

Primary roof structures should have a minimum pitch of 8:12 and a maximum pitch of 12:12. Building designs having the primary roof pitch at less than 8:12 may be considered based upon merits of the individual design and its overall conformance to the spirit of the design guidelines. The roof pitch of secondary roofs shall be complementary to the primary roof. This is not to imply that the pitch of secondary roofs must be the same as primary roofs. Secondary roof pitches may vary from the primary roof. With the exception of small flat roof sections, the pitch of secondary roofs shall be at least 3:12.

C. Dormers

The design of dormers should be functional to allow window openings and head heights for upper level or loft living spaces. They can also be used to bring natural light into multi-story living spaces and to provide protection to entryways, decks, and garages. Dormers shall be used in lieu of skylights for both functional and style reasons. Skylights are not allowed.

Dormer forms may be gable, hip, or shed. Dormers should be designed and located relative to the style and overall proportional balance of the roof and building. Shed dormers should not exceed more than 2/3 of the primary roof plane. In order to maintain a simple roof form and effectively break up the mass of the building, the front face of large shed dormers should be at least 2' back from the edge of the roof.

D. Ancillary Roof Elements

Roofs should be relatively simple and as such, the design of ancillary elements such as flues, vents, mechanical equipment, snow fences and clips, heat tapes and lightning rods is very important in order to minimize roof clutter. Ancillary elements should be designed to be compatible with the primary roof and to not create a visual distraction. All flues and vents shall be consolidated and enclosed in stone. Wood enclosures are not permitted. In the event that the consolidation and enclosure of all flues and vents is not feasible, the Design Review Board may approve unenclosed flues and vents provided they are small in size and painted to match the roof color.

When used, snow guards should be fastened to the basic roof structure by steel connections and brackets. Horizontal log or timber members, matching the materials on the home, are encouraged. Steel members painted to match the roof color may be used. Snow clips may be of copper or painted metal.

E. Roof Materials

In response to the wooded setting of the Ranch and to the heritage of the architectural theme there are several roof materials that are appropriate to the Ranch.

Individual unit piece roofs made of synthetic shakes, natural slate, concrete, or clay tile are all appropriate in a flat or “shake” profile. Slate, concrete or clay tile roofs shall be of a grey-brown or green-gray-brown color with a flat non-reflective finish. Asphalt shingles, fiberglass shingles, and cedar shingles are not permitted.

Non reflective standing seam roofs in corten, zinc, copper or terne metals are also appropriate due to their natural patina appearance. The use of metal roofing should be as an accent to the main roofing material. All exposed roof vent flashing, gutters, downspouts and other roofing devices other than snow guards shall be made of copper or other suitable alternatives as may be approved by the Design Review Board. In all cases, such material shall be compatible with the colors and materials of the residence and the community. In some cases an all metal roof may be allowed due to wildfire ratings of high or extreme. Painted or kynar finished metal may be allowed in approved colors.

In accordance with Resolution 8, Series 2004 Cedar shake roofs are no longer allowed in Cordillera in an effort to reduce wildfire hazards.

F. Cold Roof Design

Cold roofs are strongly encouraged in order to prevent or reduce ice damming and icicle buildup on eaves. Cold roof design should include a continuous air flow space between eave vents and ridge vents. Attention should be given to the venting of dormers, secondary roof areas, and hip ridges to prevent heat build-up or lack of air flow. If cold roofs are not used, full ice and water guard coverage will be necessary.

G. Roof Replacement

Existing cedar shake roofs within Cordillera are aging and some roofs may be in need of repair and/or replacement. However, roofs to be repaired in excess of 25%, over the life of the roof, of total roof area shall be replaced with a material other than cedar shakes, based on the above requirements.

4.03.05. Exterior Wall Materials

A major component of the design theme for The Ranch is the use of natural materials that are an outgrowth of their setting. A limited range of exterior wall materials, the use of similar colors and simple building forms

will establish an architectural image that will complement and blend into the natural landscape.

A. Scale and Form

Residential buildings shall be based upon a central rectilinear massing with simple forms added to create scale, and to allow for the adaptation to natural landforms. The underlying rectilinear form should have the visual impression of “growing” out of the site. This impression can be reinforced by following the natural contours of the site and portraying a strong, horizontally proportioned massive base.

B. Materials

Acceptable exterior wall materials include stone and wood. Stone shall be used as an expression of mass; heavy timber or log framing may be used to express structural form; wood siding may be used for exterior sheathing; and board trim may be used for detail areas such as fascia, eave, corner and window trim. In all cases, the use of exterior wall materials shall accurately convey the structural integrity of the residence. The use and composition of these materials are described in the following sections.

C. Exterior Wood

Wood siding should be the primary exterior building material within the Ranch. Boards of 6 or 8 inch width should be used and profiles of channel rustic, shiplap, tongue and groove or board and batten are appropriate. Due to their natural weathering characteristics western red cedar and redwood are the most appropriate siding materials. These woods will age naturally to a blend of beautiful colors. The use of paint on wood siding is not consistent with the architectural theme of the Ranch.

Cedar shakes or shingles may be used in lieu of wood siding on secondary wall areas such as dormers and gables. Rectangular or half round shingles may be used. Heavy timber and logs are used to express structural framing of the building, particularly as trusses, lintels, sills, beams, purlins, and rafters. The scale of these members should be consistent with their structural insertion. Connection details should be done with care and exposed heavy steel plates should be avoided or concealed.

D. Logs

Logs may be used as stacked load bearing walls, but when expressed on the building exterior, logs must be set on a stone base. In such cases, stone should comprise at least one-fourth of the exterior wall area. Logs should express a massive, hand hewn appearance. Typical minimum dimension of at least 14 inches in diameter is encouraged. Logs are to be hand hewn to reflect the natural shape, grain, and inconsistencies of timber. Turned or “manufactured” logs of uniform profile, finish and radius shall not be used. Logs may be hewn round or rectangular and joints may have chinking or may be fitted into an glu-lam beams can be used to express the structural framing of the building, particularly as trusses, lintels, sills, beams, purlins, and rafters. The scale of these members should be consistent with their structural insertion. Connection details should be done with care and exposed heavy steel plates should be avoided or concealed.

Log homes are most appropriate on wooded sites and as such, log homes may be developed only on specific lots. Please contact the Community Resource Coordinator for a list of these lots.

Generally no more than 2/3 of any exterior wall surface should be composed of wood siding. Stone, if used as described below, may be incorporated, within the composition, serving to provide a visual base to support the building.

E. Stone

The use of natural stone is required and must cover at least 15% of the exterior vertical surface area.

Stone provides a physical link with the natural characteristics of a site and also serves to visually anchor a building to the ground. Stone should be used to establish a strong sense of mass and performance. Stone should be of an indigenous Colorado source and shall be laid on a random pattern with a subtle horizontal coursing. The use of boulders and large rocks to visually “anchor” corners and ground levels of rock walls, fireplaces, and landscape improvements is encouraged. Stone should have the appearance of being self-supporting through the natural forces of mass and gravity. This can best be achieved by using larger stones or boulders at the bottom of walls, portraying a horizontal stacking, and avoiding small “in-fill” rubble stones.

F. Lintels and Sills

In “mass” walls of stone or stucco the use of lintel and sills at door and window openings is strongly encouraged. These lintel and sill members shall be detailed and proportioned so as to appear structurally sound. Lintels and sills may be made of hewn timber, logs, cut stone, or natural stone.

G. Exterior Trim

The design theme for The Ranch calls for a high level of quality in exterior materials and details. Details provide the opportunity to present the skill of the designer and craftsman while expressing the heritage, cultural folklore, and artistry of the architectural style and the Colorado setting.

Many opportunities can be exploited to enrich building details. Among these are windows and doors, gates, balconies and railings, deck and patio surfaces, chimneys and dormers, corbels, artwork, and lighting. In concert with the overall architectural style, details should be consistent in their origin and interpretation throughout the building. Functional details such as window boxes and shutters are encouraged; however, shutters must be proportioned to cover their respective windows. The design of functional hardware is encouraged.

H. Prohibited Walls Materials

In order to further define the design theme and establish continuity between buildings, exterior wall materials are generally limited to the materials described above. At the discretion of the Design Review Board, materials other than those specifically listed may be approved. The following materials are inappropriate for The Ranch’s design theme and are specifically prohibited:

- Wood shake roof
- Asphalt or fiberglass shingles
- Stucco
- Imitation stone or imitation brick
- Concrete, either masonry units, pre-cast, or formed
- Cinder block
- Metal siding
- Ceramic tile
- Plywood or composition siding, T-111, other Hardiboard products.
- Glu lam beams
- Glass Block
- Any material not listed that the DRB deems to be of inferior quality.

4.03.06. Windows and Doors

- A. Window arrangements should be designed in proportion to the structure and form of the building and should adhere to a traditional rectangular pattern in keeping with the overall design theme. True divided light windows are the most appropriate to the design theme of The Ranch and must be incorporated in

a consistent pattern throughout the home. Snap-in grids are not considered to be divided lights. In order to maintain a smaller scale, large window openings shall be composed of smaller panes of glass.

- B. Bay windows may be used to enhance views and provide interest to exterior walls. Arched top windows may be an appropriate form of opening, but will only be approved when set within stone. Trapezoid windows and other unusual shape and size windows are generally not encouraged and if used must be in conjunction with divided light windows and set behind a truss element. Skylights and circular windows are not appropriate to the design theme of the Ranch and are therefore not allowed.
- C. Windows offer many opportunities to reinforce the design style. On stone walls, deep reveals of 6" to 8" are very characteristic of the design style. The design of windows, whether in wood or stone walls, should be "set within the wall" on all sides.
- D. Window casing shall be made of wood with exterior finishes stained or clad in metal. Colors on clad windows must be factory applied. Mirrored or reflective glass is prohibited. Maintenance of metal clad windows may be accomplished through paint, per DRB approval.
- E. Exterior doors, especially main entry doors and garage doors should be designed with great attention to detail in order to create an individual identity for the building. Richly detailed doors are also very characteristic of the design theme. Doors should be made of wood, glass, or metal. Hardware for exterior doors and windows, including hinges, latches, handles, and pulls should be designed with artistic expression and constructed of materials such as wrought iron, bronze or copper.

4.03.07. Balconies and Railings

- A. Balconies are very characteristic of the design theme and when properly located on sunny exposures, can provide pleasant outdoor spaces. Balconies can either be recessed into the wall mass or projected from exterior walls. When a projected balcony is used, consideration must be given to protection from snow shedding from overhead roofs. The underside of projecting balconies must be finished with wood siding to match exterior wall materials.
- B. Balconies should be sized to individual rooms or functions within the building and should be proportional to the overall exterior elevation of the building. Long horizontal expanses of continuous or repetitive balconies should be avoided.
- C. Balcony railings offer an opportunity to express individual character within the context of the design theme. Balcony railings should be light in appearance with a significant portion of the area left open by using narrow pickets or railing patterns. Balconies enclosed with wood walls are not permitted. The use of framing material for balcony railings is not permitted. Wood or wrought iron railings may be used. Painted tube steel or rebar is not permitted as a railing material.

4.03.08. Foundations

- A. One of the primary design objectives of Cordillera is to create a close integration of site, landscape, and building. The design of foundations is an extremely important aspect of integrating these elements. Foundations and finished site grading should be designed so that the building appears to grow out of the site in a balanced and visually pleasing manner. Foundation walls above finished grade must be covered with stone.
- B. On sloping sites, foundations should be stepped with the contours to avoid high retaining walls or extensive cut or fill slopes. Suspending building masses and cantilevered buildings may be permitted. Wherever possible, building foundations should be designed to visually link with landscape walls in order

to reinforce the visual harmony between the building and the landscape.

- C. Due to the nature of soil and geology of mountain building sites a site specific geotechnical report is required for each site. The foundations, footings, retaining walls and related drainage systems shall be designed by a licensed engineer.

4.03.09. Chimneys

- A. Chimneys are a strong visual element of a home and an important aspect of The Ranch’s design theme. They should relate in form and materials to the design style of the primary structure. Chimneys shall be constructed of stone with cut stone caps or decorative metal spark arresting “roofs”. Fireplace flues as well as mechanical flues and vents should be consolidated and enclosed within chimneys. All exposed metal flues or pipes on the roofs shall be enclosed in stone or painted to match the approved roof color.
- B. In accordance with Eagle County Regulations, no more than one wood burning device per residence is permitted. The proposed wood burning device must be clean burning, utilizing a catalytic converter, and must be an EPA approved product.

4.03.10. Exterior Color Scheme

- A. The overriding principle for the exterior colors of buildings within The Ranch is to blend buildings into the terrain and vegetation of the natural landscape. Naturally weathering materials such as cedar shakes and shingles, redwood and western red cedar boards, corten, copper or terne metal, and native stone are central to the design theme.
- B. Transparent or Semi-transparent stains are required on exterior wood and must be in colors that are subtle and only accent the natural wood. Solid stains and paint are not allowed on exterior wood surfaces of buildings.
- C. Accent colors can be used to bring interest and individual identity to buildings. Colors that relate to the natural vegetation of the site area can add effective, vibrant accents to the subdued tones of the overall building. Transparent or Semi-transparent accent colors may also be used on secondary details of buildings such as door and window trim, fascias, and frieze boards. When accent colors are used, they must blend with the overall colors of the building. Bright colors, colors that call undue attention to a specific element of a building, or colors that overpower the building shall not be permitted.
- D. Prior written approval must be obtained from the Design Review Board to recoat the exterior of a building that deviates from the originally approved color scheme (color and formulation).

4.03.11. Solid Waste Collection and Service Areas

Adequate areas shall be provided for trash containers, storage areas for patio furniture, firewood and maintenance and recreational equipment. Storage areas incorporated within the building are preferred. However, if storage areas are outside, such areas shall be enclosed or screened from view from public areas and from adjacent properties. The enclosures or screens shall be compatible with the overall style, form and materials of the residence. Refer to Retaining Walls, Landscape Walls, Fences and Screening for specific screening guidelines. Trash containers shall be designed to prevent access by wildlife and domestic animals and shall not be left outside overnight.

4.03.12. Fire Protection

- A. All permanent buildings shall include a sprinkler type fire suppression system. Consult the Eagle County Building Department for information regarding specifications of such systems.

- B. All residence shall have a Knox Box located near the garage door or front door and must be highly visible.

4.03.13. Accessory Buildings and Accessory Uses

- A. Accessory buildings are to remain within the building envelope, unless approved by DRB.
- B. Pursuant to Cordillera’s P.U.D. Guide, planning parcels are designated for certain uses. Residential development within Cordillera is intended to serve one family living together in a dwelling unit. A dwelling unit is defined by the Eagle County Land Use Regulations to mean: one or more rooms in a dwelling occupied by one family living independently of any other family, and having not more than one indoor kitchen facility which is limited to the use of the one family.
- C. In some areas caretaker units are allowed and only by a purchased right. According to the Eagle County Land Use Regulations a caretaker is defined to mean: a person who is not the owner of the land but who is employed by the owner to maintain the land and structures on it. Additionally, pursuant to the Eagle County Land Use Regulations and the PUD Guide for Cordillera (Exhibit G), there are 32 caretaker units allowed in the Western Parcel and 14 in the Chaveno Parcel. Moreover, a caretaker unit is defined to mean: a dwelling unit which is accessory to the principal use of the property, and is designed and intended for occupancy by the caretaker of said property; provided that the caretaker unit shall not be sold separately from the main dwelling, must be an integral part of the primary dwelling, shall not exceed 25% of the total building floor area, and shall only be permitted on lots greater than one half acre in size.
- D. In some areas Cordillera’s P.U.D. Guide does allow for accessory buildings and uses. An accessory structure or accessory use is defined by the Eagle County Land Use Regulations to mean: a structure less than 850 square feet and which does not contain habitable space or a use incidental and subordinate to the main use of the property and which is located on the same lot as the main use. All accessory buildings and accessory uses must be approved by the Design Review Board and located within the building envelope. All applicants to the Design Review Board must submit a Statement of Primary and Accessory Use prior to receiving final Design Review Board approval. Bed and Breakfast Home Occupation is specifically prohibited.
- E. All lots must have a primary structure before any accessory structures, recreational facilities or improvements can be approved.

4.03.14 Contiguous Lots

The DRB recognizes a contiguous lot, which has a primary residence adjacent, as an extension of the property.

- A. A contiguous lot which is associated with a primary residence shall be allowed to have development rights such as improvements or structures on the property, if allowed per PUD and approved by DRB.
- B. A lot not associated to a primary residence is not a contiguous lot and will not be allowed to have development rights such as improvements or structures on the property.
- C. A contiguous lot which is sold as a single lot must conform to vacant lot standards; all improvements and/or structures must be removed and returned to original state. Owners shall, at their own cost and expense, remove such structures or improvements and restore the land to substantially the same

condition as existed prior to the nonconforming work per Declaration of Protective Covenants, Conditions, and Restrictions, Section 7.05 – Enforcement.

- D. Owners of multiple contiguous properties may combine the building envelopes into one building envelope with an equal or lesser square footage. The Design Review Board and Eagle County must approve the vacation of the property line and building envelope amendment. Structures on contiguous lots cannot exceed the maximum allowable building square footages for structures on single lots.

4.03.15. Water Conservation

In addition to the landscape irrigation requirements set forth in the Cordillera Design Guidelines, homeowners are encouraged to practice water conservation measure within their homes with respect to efficiently managing their water use.

4.04.00. THE RANCH LANDSCAPE DESIGN GUIDELINES

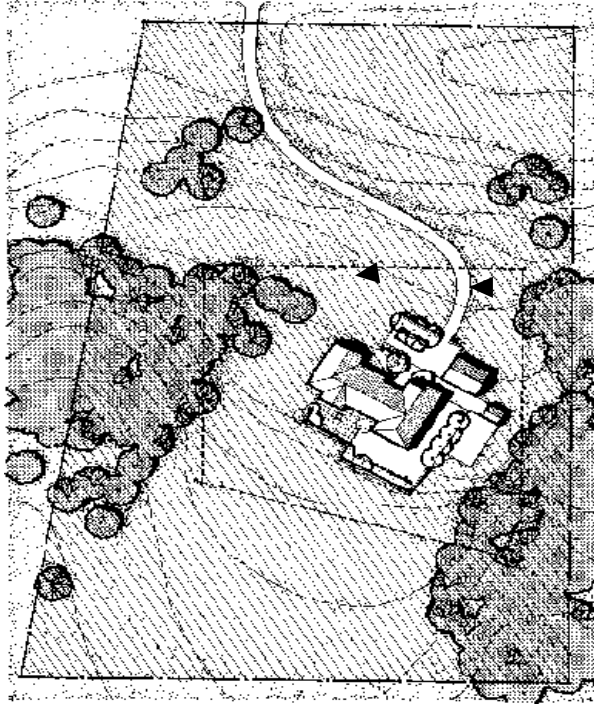
4.04.01. Introduction

- A. The goal of landscape design for The Ranch is to integrate buildings and improvements with the high alpine meadows and forested slopes that characterize the site. In addition, landscape design should respect the history and heritage of the site. Settled by the Fenno family over one hundred years ago, farming and ranching practices have left a quilt of open grassy meadows defined by surrounding stands of aspen, fir and spruce. This western heritage is simple, direct and picturesque. Like the architectural theme, the landscape theme should further the natural characteristics of the site through the use of natural materials that are an outgrowth of their setting.
- B. To this end, landscape plans and grading plans must address two distinct landscape zones and the creation of a defined edge between these two zones. The first of these, the native landscape area, generally includes portions of the lot outside of the building envelope. The native landscape area is to remain predominantly undisturbed during site development. Re-vegetation of the native landscape area should erase traces of disturbance and recreate the character of the site using indigenous plants. The manicured landscape area is the second zone and generally includes areas within the building envelope. This area allows for a more formal landscape treatment adjacent to the building. Ornamental plants and manicured lawns are permitted but such features should be minimized to conserve water and maintain the natural character of the site.
- C. The intent of landscape design for The Ranch is not to replace all existing natural vegetation and features with lush lawns, gardens, ornamental plants and other man-made elements. Nor is it the intention to specifically deny the opportunity to modify the existing landscape in order to effectively complement buildings, structures or other improvements. Rather, the objective of these guidelines is to ensure that landscape design reflects the rustic qualities of the American West while retaining the overall qualities and integrity of the existing site and mountain landscape.

4.04.02. Cordillera Design Guidelines Wildfire Regulations

- A. To reduce the wildfire hazard, areas of Cordillera have been categorized into four hazard classes corresponding to the degree of wildfire hazard. These classes, listed below, are used to define the extent of mitigation necessary to minimize exposure to wildfire risks. A map illustrating individual lot fire hazard classifications may be viewed at the Cordillera Administration Office.

1. Class A is a low hazard category in which mitigation for wildfire hazards may be required.
2. Class B is a moderate hazard category in which mitigation to reduce wildfire hazards is required.
3. Class C is a severe hazard category which includes conifer stands with dense crowns, steep slopes, or existing slash of standing dead timber. Mitigation to reduce wildfire hazards is required.
4. Class X or D is a severe hazard category which includes dense brush vegetation less than ten feet tall. Mitigation to reduce wildfire hazards is required within this class.
5. Contact the Cordillera Wildfire Manager, 970-926-1923, for further information pertaining to your individual lot.



- B. On all properties less than three (3) acres, the entire lot is mitigated of standing dead and dead fallen trees, in accordance with Eagle County Wildfire Mitigation guidelines. All mitigation must be completed prior to construction beginning.
- C. On properties greater than three (3) acres all dead standing and dead fallen within two hundred ten feet (210 feet) of the home (overhangs) in all directions be mitigated within property lines.
- D. In all properties greater than three (3) acres, the mitigation will not exceed three (3) acres in area; and that there is to be no mitigation outside of the property lines.
- E. No tree shall be planted in an existing fire hazard. Trees planted in an existing fire hazard will be removed and relocated to an area of less fire danger.

- F. The addition of landscaping will not be allowed to increase the hazard rating for the overall site.
- G. All plant material within Zone 1 and Zone 2 must comply with both Cordillera Design Guidelines and Eagle County Wildfire Regulations
- H. Zone 1 is to comply with Eagle County Regulations and Cordillera wildfire regulations that increases defensible space to twenty (20) feet, from all decks and overhangs to the drip edge of the tree, and that no conifers or other non-firewise plant materials be within this twenty (20) foot space.
- I. Zone 2 is further defined as one hundred (100) feet from all decks and overhangs.
- J. Please refer to Eagle County Wildfire regulations for a list of approved plant materials.

4.04.03. Native Landscape Area

- A. The native landscape area is generally defined as the portion of the lot located outside the building envelope. The purpose of this area is to maintain a common natural landscape element throughout The Ranch. In addition, the native landscape can extend into the building envelope to reinforce the relationship between the built and natural environment. Except for the installation of a driveway, the native landscape area should remain undisturbed during construction. Unless specifically approved by the Design Review Board, all construction, excavation, cut and fill slopes vegetation and tree removal and other forms of disturbance are prohibited within the native landscape area.
- B. All portions of the native landscape area that are disturbed during construction shall be revegetated with plant materials indigenous to The Ranch. The introduction of plant materials into the native landscape area that is not indigenous is prohibited. Indigenous plants approved for use in The Ranch are listed in Section 4.04.09 List of Recommended Plant Materials. These plants should be selected according to microclimatic conditions, natural vegetation patterns, plant geography, plant associations and plant coverage patterns of the existing vegetation on the site. Minimum tree size for evergreen trees is 10 feet.
- C. Temporary above ground irrigation systems to re-establish native vegetation may be permitted, subject to approval of the Design Review Board. Temporary systems shall be removed after one growing season, unless additional time is required for the vegetation to re-establish. Such an extension requires approval from the Design Review Board. Once vegetation has been re-established, the system shall be removed gradually allowing the newly established vegetation to adjust to natural site conditions. Underground irrigation systems are not permitted in the native areas. Low water usage plants are highly encouraged and a moisture sensor on the irrigation systems is required.
- D. Where the native landscape area meets the structure, a roof drip edge shall be established to mitigate soil erosion from roof runoff. Native planting between the drip edge and the structure is encouraged to accomplish all design goals (framing views, anchoring the structure to the site, etc.).

4.04.04. Manicured Landscape Area

- A. The manicured landscape area is comprised of lawns, planting beds, patios, terraces, and other formal landscape improvements. All such improvements shall be located within the building envelope unless otherwise approved by the Design Review Board. Acceptable plant materials within the manicured areas are low water usage plants adaptable to USDA Zone 4, as defined by the 1990 USDA climate map. Such plants are listed in Section 4.04.09 List of Recommended Plant Materials. Approved plant materials for manicured areas also include ornamental species.

Appropriate locations for ornamental plantings are adjacent to the residence and outdoor living spaces such as patios, decks and front entries. Planting should frame views, provide privacy, anchor the corners of the structure, buffer prevailing winds and offer seasonal interest. Trees should be planted in varying sizes to provide a natural appearance. Refrain from planting in rows. Clusters of no more than 3 evergreen trees, with a distance of 20 feet from all decks and overhangs. Refer to Wildfire Regulations Section 4.04.02. Other clusters of evergreens and the building shall range in height from 10' to 14' minimum with each tree identified on the plan.

Slope should be accounted for when assigning heights. Trees in higher profile areas should exceed this height range. Deciduous trees shall range in size from 2" to 3" in caliper minimum. Shrubs must be 5 gallon minimum. It will be at the discretion of the Design Review Board to require larger plant materials as it sees appropriate. Annuals and ornamental plantings are not appropriate outside of the building envelope or along the drive. Generally, native indigenous plant materials should be the predominant landscape feature visible from adjacent properties, streets or public spaces.

- B. Permanent underground irrigation systems are permitted within landscape areas, provided that such areas do not exceed 5,000 square feet per lot. Irrigated area shall be calculated as all ground area covered by overhead spray irrigation. Drip irrigation to individual plant locations shall be calculated in accordance with the following formula: one gallon pots will equal 1/4 square foot; two gallon pots will equal 1/2 square foot; five gallon pots shall equal 3 square feet, seven gallon pots shall equal 4 1/2 square feet. Individual trees and larger shrubs should be factored accordingly based upon root ball size.

Property owners are encouraged to provide a mix of vegetative types within manicured areas including shrub beds, perennial beds, trees, container plants, and lawn. The remaining area allowed for underground irrigation systems may be used to permanently support native plantings adjacent to the manicured landscape areas. In order to conserve water, owners are encouraged to minimize irrigated areas, use moisture sensors on irrigation systems and design irrigation systems that are water efficient and low maintenance. All automatic irrigation systems shall be equipped with a rain sensor which will disengage the system during periods of rain. With the exception of starter systems as described in the native landscape area section, above ground systems are not acceptable.

- C. Backflow preventors are required with all irrigation systems and remote electrical control valves shall be installed in valve boxes. Manual valves are prohibited. Irrigation controllers shall not be visible on the exterior of the building. The use of typical drip irrigation or pop-up heads that conserve water is encouraged. Systems shall be designed so that peak summertime lawn irrigation can be completed between 8 pm and 7 am. The use of drip zones is also encouraged.

4.04.05. Transition Zone

The transition zone provides for a smooth planting treatment between manicured landscape area and the indigenous vegetation of the native landscape area. The intent of this transition zone is to create an edge or zone which clearly contains the manicured landscape areas. The transition may be a simple edge such as stone edging or a low landscape wall; or it may be a zone such as a series of planted terraces or a planting bed.

4.04.06. Kentucky Bluegrass as a Landscaping Element

Pursuant to Cordillera's Water Conservation Plan, the use of Kentucky Bluegrass within Cordillera is strictly limited. Kentucky Bluegrass is not indigenous to the general climate where Cordillera is located and is,

therefore, only allowed in site-specific natural moist areas and recreational settings. Any intended use of Kentucky Bluegrass must be clearly stated on the required landscape plans and approved by the Cordillera Design Review Board prior to construction. The Fescue species is an acceptable substitute.

4.04.07. Tree Protection

All trees located outside a 5 foot border, running parallel with the footprint of the proposed building(s) and with a diameter greater than eighteen inches, measured from 3 feet above grade are subject to Design Review Board review and approval. No tree in this category shall be cut, removed, altered or destroyed without the express written approval of the Design Review Board.

4.04.08. Plant Materials

The Ranch is bisected by numerous wildlife migration corridors. In order to avoid browsing by deer and elk, it is strongly recommended that plant species which are less palatable to big game be used on lots within or adjacent to movement corridors or winter range habitat.

4.04.09. List of Recommended Plant Materials

The following plant list includes a majority of the indigenous species found within Cordillera. These lists are to be used for re-vegetation of disturbed area and habitat enhancement. Homeowners are encouraged to incorporate indigenous plants into the manicured landscape areas. Selecting the big game resistant plants identified below (*) will reduce or minimize browsing damage by deer and elk. To conserve water homeowners are encouraged to use low water consuming plant species, identified below (+).

Any lot may contain numerous microclimates and plant habitats. It is the Owner’s responsibility to introduce indigenous plants into the native landscape areas which are consistent with the existing habitats types and adapted to the conditions of the specific location. These habitat types have been mapped for the entire Cordillera property. It is recommended that this information be used to determine habitat types on specific lots. This information may be obtained by contacting the Cordillera Design Review Board.

NORTH FACING SLOPES

EVERGREEN TREES

<i>Abies concolor</i>	White Fir
<i>Abies lasiocarpa</i>	Subalpine Fir
<i>Picea engelmannii</i>	Engelmann Spruce *
<i>Picea pungens</i>	Colorado Blue Spruce *
<i>Pinus contorta</i>	Lodgepole Pine +
<i>Pseudotsuga menziesii</i>	Douglas Fir *

DECIDUOUS TREES

<i>Populus angustifolia</i>	Narrow-leaf Cottonwood
<i>Populus balsamifera</i>	Balsam Poplar
<i>Populus tremuloides</i>	Quaking Aspen

SMALL TREES AND SHRUBS

<i>Acer ginnala</i>	Amur Maple
<i>Acer glabrum</i>	Rocky Mountain Maple

<i>Amelanchier alnifolia</i>	Serviceberry +
<i>Arctostaphylos uva-uris</i>	Kinnikinnik
<i>Juniperus communis</i>	Common Juniper *
<i>Mahonia repens</i>	Oregon Grape (Creeping Mahonia) *
<i>Pachistima myrsinites</i>	Mountain-lover
<i>Physocarpus monogynus</i>	Low Ninebark *
<i>Prunus pennsylvanica</i>	Pin Cherry
<i>Prunus virginiana</i>	Chokecherry
<i>Ribes alpinum</i>	Alpine Currant
<i>Ribes aureum</i>	Golden Currant +*
<i>Ribes inerme</i>	Wild Gooseberry
<i>Rosa woodsii</i>	Wood's Rose +
<i>Sambucus pubens</i>	Red-berried Elder
<i>Sambucus racemosa</i>	Elderberry
<i>Sheperdia canadensis</i>	Canada Buffaloberry
<i>Sorbus scopulina</i>	Mountain Ash +
<i>Symphoricarpus albus</i>	Common Snowberry
<i>Symphoricarpus uthaensis</i>	Birchleaf Spiraea
<i>Vaccinium myrtillus</i>	Blueberry
<i>Vaccinium scoparium</i>	Huckleberry

FORBS AND GRASSES

<i>Aquilegia caerulea</i>	Wild Columbine
<i>Arnica cordifolia</i>	Heartleaf Arnica
<i>Calamagrostis rubescens</i>	Reedgrass
<i>Carex geyeri</i>	Elk Sedge
<i>Elymus glaucus</i>	Blue Wildrye
<i>Galium boreale</i>	Bedstraw
<i>Geranium richardsonii</i>	Geranium
<i>Lathyrus leucanthus</i>	Peavine
<i>Thalictrum fendleri</i>	Meadowrue
<i>Vicia americana</i>	Vetch

DRY SUNNY SLOPES EVERGREEN TREES

<i>Juniperus scopulorum</i>	Rocky Mountain Juniper +
<i>Pinus aristata</i>	Bristol-cone Pine +
<i>Pinus contorta</i>	Lodgepole Pine +
<i>Pinus edulis</i>	Pinyon Pine +*
<i>Pinus flexilis</i>	Limber Pine *

SMALL TREES AND SHRUBS

<i>Amelanchier alnifolia</i>	Serviceberry +
<i>Arctostaphylos uva-ursi</i>	Kinnikinnik
<i>Artemisia cana</i>	Hairy Sage +
<i>Artemisia frigida</i>	Fringed Sage +

<i>Artemisia tridentata</i> spp. <i>Vaseyana</i>	Big Sagebrush +
<i>Ceratoides lanata</i>	Winterfat +
<i>Cercocarpus intricatus</i>	Dwarf Mountain Mahogany
<i>Cercocarpus montanus</i>	Mountain Mahogany +
<i>Chrysothamnus parryi</i> & spp.	Mountain Rabbitbrush +
<i>Chrysothamnus nauseosus</i>	Rubber Rabbitbrush +
<i>Chrysothamnus viscidiflorus</i>	Low Rabbitbrush +
<i>Clematis liquisticifolia</i>	Western Clematis
<i>Fallugia paradoxa</i>	Apache Plume *
<i>Holodiscus dumosus</i>	Rock Spirea
<i>Jamesia americana</i>	Waxflower (Mountain Mock Orange)
<i>Juniperus osteosperma</i>	Utah Juniper +
<i>Mahonia repens</i>	Oregon Grape (Creeping Mahonia) *
<i>Potentilla fruticosa</i>	Shrubby Cinquefoil *
<i>Prunus virginiana</i>	Chokecherry
<i>Purshia tridentata</i>	Antelope Brush (Bitterbrush) + Scrub
<i>Quercus gambelii</i>	Oak +
<i>Rhus glabra</i>	Smooth Sumac +
<i>Rhus trilobata</i>	Skunkbush +*
<i>Ribes cereum</i>	Squaw Currant *
<i>Sorbus scopulina</i>	Dwarf Mountain Ash +
<i>Symphoricarpos oreophilus</i>	Snowberry +
<i>Tetradymia canescens</i>	Horsebrush

FORBS AND GRASSES

<i>Agropyron dasystachyum</i>	Thick Spike Wheatgrass +
<i>Agropyron smithii</i>	Western Wheatgrass +
<i>Agropyron spicatum</i>	Bluebunch Grass +
<i>Bromus porteri</i>	Nodding Brome +
<i>Castilleja flauva</i>	Paintbrush
<i>Cerastium oreophilum</i>	Mouse-ear
<i>Chenopodium leptophyllum</i>	Goosefoot
<i>Delphinium nuttlaianum</i> and spp.	Larkspur *
<i>Erigeron subtrinervis</i>	Fleabane *
<i>Erigonum subalpinum</i>	Buckwheat *
<i>Erigonum umbellatum</i>	Sulphur Flower +*
<i>Festucia idahoensis</i>	Idaho Fescue
<i>Hedeoma hispida</i>	False Pennyroyal
<i>Heliomeris multiflora</i>	Showy Goldeneye
<i>Koeleria cristata</i>	Junegrass
<i>Lupinus</i> spp.	Lupines +*
<i>Oryzopsis hymenoides</i>	Indian Ricegrass +
<i>Poa compressa</i>	Canadian Bluegrass
<i>Poa secunda</i>	Sandberg Bluegrass
<i>Phlox multiflora</i>	Phlox
<i>Sphaeralcea coccinea</i>	Scarlet Globemallow
<i>Stipa columbiana</i>	Columbia Needlegrass

Stipa comata Needle-and-thread +
Trifolium gymnocarpon Hollyleaf Clover

MOIST LOW LYING AREAS ALONG CREEKS AND STREAMS

EVERGREEN TREES

Picea engelmannii Engelmann Spruce *
Picea pungens Colorado Blue Spruce
Pseudotsuga menziesii Douglas Fir *

DECIDUOUS TREES

Populus acuminata Lanceleaf Cottonwood
Populus angustifolia Narrow-leaf Cottonwood
Populus balsamifera Balsam Poplar
Populus fremontii Fremont Cottonwood
Populus sargentii Plains Cottonwood
Populus spp. Siouxi Siouxi Cottonwood
Populus tremuloides Quaking Aspen

SMALL TREES AND SHRUBS

Alnus tenuifolia Rocky Mountain Alder
Betula occidentalis Rocky Mountain Birch
Carex spp. Sedges
Ceanothus velutinus Deer Bush
Cornus stolonifera Redosier Dogwood
Crataegus douglassii Hawthorn +
Juniperus communis Mountain Common Juniper *
Ledus glandulosum Western Labrador Tea
Lonicera involucrata Bearberry Honeysuckle *
Pachystima myrsinites Mountain Lover +
Prunus melanocarpa Western Chokecherry
Ribes coloradense Colorado Currant
Ribes inerme Wild Gooseberry
Ribes lacustre Small-fruited Gooseberry
Ribes wolfii Wolf's Currant
Rosa woodsii Woods Rose +
Rubus deliciosus Thimbleberry
Rubus idaeus Western Red Raspberry
Rubus parviflorus Western Thimbleberry
Rubus strigosus Wild Red Raspberry
Salix geyeriana Geyer Willow
Salix monticola Mountain Willow
Salix pseudomonitcola Southern Park Willow
Salix scouleriana Scouler Willow
Salix wolfii Wolf's Willow
Sambucus melanocarpa Black Elder
Symphoricarpos oreophilus Mountain Snowberry
Vaccinium caespitosum Grouse Whortleberry
Vaccinium myrtillus Mountain Blueberry
Viburnum edule Arrowwood Viburnum

AGRICULTURAL AREAS

FORBS AND GRASSES

<i>Agropyron cristatum</i>	Crested Wheatgrass +
<i>Agrostis alba</i>	Redtop
<i>Bromus inermis</i>	Smooth Brome
<i>Dactylis glomerata</i>	Orchardgrass
<i>Phleum pratense</i>	Timothy
<i>Poa pratensis</i>	Kentucky Bluegrass

4.04.10. Retaining Walls, Landscape Walls, Fences and Screening

- A. Retaining walls, low landscape walls, fences and other screening elements are encouraged to facilitate changes in grade, to define exterior living spaces and to transition from the native to manicured landscape areas. The location and alignment of such features should be determined based on site contours and other natural or man-made improvements. Under no circumstances shall walls, screens or fences follow property lines, interfere with wildlife movement corridors or winter range areas. All improvements shall be located within the building envelope, unless stated in Section 4.02.02 Building Envelopes and approved by the Design Review Board.
- B. Materials used to construct retaining and low landscape walls shall be consistent with the architectural materials, textures, and colors used on the main building. Generally, walls should be constructed of stone or concrete with a stone veneer. The use of stucco, brick or wood as wall material is inappropriate. Randomly placed boulders, consistent with the structure's stone wall veneer, giving a feel of informality is encouraged. Plant materials are required at the base and top of all retaining walls to soften their appearance. Planting in the spaces between the boulders is encouraged. Round boulders may be used but 1/3 of the mass of ground level rocks shall be buried. Stone should be of an indigenous Colorado source and shall be laid in a pattern matching the building construction. Landscape walls should emerge from the ground and convey a sense of strength and permanence. Within this design theme, joinery and finished detailing are encouraged to provide a complimentary display of craftsmanship against the heavy and rustic structural elements.
- C. Unless otherwise approved by the Design Review Board, the maximum vertical face for individual retaining walls shall not exceed six feet above finish grade. It is recommended that terraced retaining walls be used for extreme grade changes. Terraced walls should be designed with a minimum of three feet from the back of the lower wall to the face of the upper wall in order to allow for the use of plants between terraces. Walls used to screen service yards, utility tanks, trash containers, storage of patio furniture, and maintenance and recreational equipment shall not exceed six feet. Free-standing low landscape walls used as a transition or to define outdoor spaces should not exceed forty-two inches above finished grade. Allow 2' – 3', for planting, between retaining walls and any other hard surfaces, such as patios or driveways.
- D. When fencing or screening is desired, the use of plant materials is highly encouraged. Wood fencing may be used for screening. Ornamental metal fencing will be allowed when used as an accent decoration, a gate or similar features. The fencing needs to compliment the design, materials and color of the residence. The maximum allowable height is forty-two inches.
- E. Dark colored vinyl clad chain link fencing may be used to enclose dog runs or kennels as long as they are located within the building envelope and are screened from public view. The maximum allowable height

for dog kennels and screening is six feet. Dog kennels must be adjacent to the residence and screened with landscape materials.

1. Kennels shall not exceed 1,000 square feet.
2. Dog runs or kennels are not permitted on lots that are less than one half acre in size.

4.04.11. Terraces, Patios, Walkways and Decks

- A. Terraces, patios, walkways and decks can serve as an effective transition between the mass of a building and the topography, vegetation and other natural characteristics of a site. The location and size of terraces, patios, walkways and decks should be determined based on the characteristics of the site as well as the location of interior spaces. On above grade decks, support columns and underside of decking shall be finished to match materials used on the main residence. Synthetic decking material is permitted with the approval of the Design Review Board. These improvements must have a primary structure on the lot and shall be located within the building envelope, unless approved by the DRB. Acceptable paving materials for terraces, patios and walkways include flagstone, sandstone, cobbles, brick pavers, concrete pavers and exposed or colored concrete. Porous stone such as slate is unacceptable due to their tendency to spall during freeze thaw cycles.
- B. Care should be taken when designing decks on a sloped site, since the underside of the deck may be unattractive. Public view of the deck bottom should be avoided. Support columns for decks should appear substantial, and be connected to the ground with massive materials such as stone bases or caps. The use of synthetic decking material is permitted with the approval of the Design Review Board.

4.04.12. Driveway Paving Surfaces

Appropriate surfaces for driveways in The Ranch include asphalt, stamped concrete, cobbles, brick pavers, exposed or colored concrete. Gravel and porous stone are unacceptable as paving materials.

4.04.13. Exterior and Landscape Lighting

The design of exterior lighting is particularly important due to the numerous ridgelines throughout The Ranch. The intent of lighting guidelines is to maintain the rural character, preserve the night sky and protect neighboring properties from bright lights and indirect light sources.

- A. All exterior lighting requires cut sheets and approval from the DRB.
- B. Exterior lighting shall be limited to identification signs, security and safety lighting. Project identification signs and residence address signs shall be illuminated and visible from access roadways. Driveways, porches and patios, entrances and pathways may be illuminated for safety and security.
- C. Driveway or pathway lighting shall be low level down lighting, in order to reduce glare to pedestrian or vehicular traffic, with the exception an address marker may have an up light.
- D. Frosted, seeded, opaque, or pitted glass is required for exterior light fixtures. Low wattage bulbs must be installed and will not exceed 60 watts total. The total wattage of light fixtures with multiple bulbs cannot exceed 60 watts.
- E. With the exception of the seasonal display of decorative holiday lighting (between November 15 through January 15, off by 10:00 pm), and small white lights in a reasonable amount of trees (between November 15 through March 15, off by 10:00 pm), the use of this type exterior landscape lighting is not permitted. Spotlights, up- lighting of trees and landscape lighting shall not be permitted.

- F. No exterior light is permitted outside of the building envelope with the exception of the driveway and address marker, unless approved by DRB.
- G. Spotlights and any other large landscape lights shall not be permitted.

4.04.14. Address Marker

An address marker for the residence is required and must have DRB approval.

- A. Address marker must be illuminated with the lighting guidelines outlined in Section 4.04.13 Exterior and Landscaping Lighting.
- B. Address Marker may be located within the right-of-way subject to approval from the DRB and Metro District. Refer to Section 4.02.14 Improvements in the Right-of- Way.
- C. Refer to Section 4.02.12 Signage for additional information on Address Marker or Address Number. The lettering size must comply with Eagle County and Fire Department requirements.
- D. Address markers shall incorporate the architectural styling and materials of the home and integrated within the landscape.

4.04.15. Artwork

Any and all artwork to be displayed on a homesite outside of the dwelling must be located within the building envelope, unless approved by the DRB. The Design Review Board reserves the exclusive right to approve or deny an applicant's request to display artwork outside of the dwelling. No artwork shall be installed, erected, displayed or placed on a homesite without the express written approval of the Design Review Board.

4.04.16. Fire Pits

- A. Fire Pits must be gas fueled with a maximum ¾" pipe and maximum 65,000 BTU, using no solid fuels, including wood or pellets.
- B. The fire pit should be built-in and have a masonry surround that is in the same character as the primary structure.
- C. The size and location must be identified on the plans and approved by the Design Review Board prior to installation.
- D. Fire pits must be located within the building envelope, unless approved by the DRB.

4.04.17. Water Features

The development of any water feature within the landscaping may be disapproved in the event the irrigation calculations exceed the permitted amount.

- A. A self-contained water feature must not affect the irrigation calculation.
- B. All water features must be located within the building envelope, unless approved by DRB.
- C. A water feature that enhances an existing stream, pond or spring on the property must have proper documentation regarding permission and water rights from state and local government agencies prior

to DRB review.

4.04.18. Swimming Pools and Swimming Pool Structures

The development of swimming pools, whether indoor or outdoor, may be disapproved in the event the irrigation calculations exceed the permitted amount.

- A. Hot tubs are an exception from this provision as long as they are to remain covered when not in use.
- B. Swimming Pool construction, attached patios and decks, changing facilities, fences, railings, mechanical and storage buildings shall be located entirely within the described envelope, unless approved by the DRB.
- C. Fencing of pool area is permitted provided that it is located entirely within the building envelope, is no higher than 42” and has a minimum of 12” between the top two wires or boards, or as may be required pursuant to applicable building codes and regulations. The fence design and location must be approved by the Cordillera Design Review Board.
- D. A swimming pool enclosure is permitted provided it is an integral part of the primary structure, is consistent with the architecture of the primary structure, and is located entirely within the building envelope, unless approved by the DRB.

4.04.19. Water Conservation

In addition to the landscape irrigation requirements set forth in the Cordillera Design Guidelines, homeowners are encouraged to practice water conservation measure within their homes with respect to efficiently managing their water use.

4.04.20. Landscaping Within Cluster Developments

- A. Manicured Landscaping around Cluster Developments shall be allowed to extend beyond the building envelopes in order to better assure consistency in the appearance of landscape elements in such settings.
- B. Landscaping plans must be submitted to and approved by the Cordillera Design Review Board prior to any construction.

4.05.00. RENEWABLE ENERGY GUIDELINES

4.05.01. Use of Photovoltaic Panels

- A. In an effort to help the environment the use of photovoltaic panels within Cordillera is regulated.
- B. Photovoltaic panels can be used on structures within Cordillera as long as the panels are integrated into the design of the structure and approved by the Design Review Board.
- C. Free standing solar arrays are prohibited on sites less than 35 acres. On sites greater than 35 acres all alternative energy improvements must be approved by the Design Review Board.

4.05.02. Use of Wind Turbines

The use of wind turbines are prohibited on all sites smaller than 35 acres. On sites greater than 35 acres all alternative energy improvements must be approved by the Design Review Board.

4.05.03. Renewable Energy Use on Existing Structures

All renewable energy sources must be approved by the Design Review Board prior to installation. All installations must be integrated into the structure. A licensed architect must provide elevations for review as part of the overall process of adding renewable energy to an existing structure.

4.05.04. Process for adding renewable energy to an existing structure

- A. Application for addition of renewable energy systems (DRB Application requesting a modification) must be submitted to the Design Review Board on the fourth Thursday of the month. This submittal must contain the following:
 - Submittals must include drawings or photos of existing conditions, and drawings of the proposed modification.
 - A copy of the report provided by the installer. This should contain location of installation, specifications of equipment to be used and a solar report (if applicable).

- B. The application and submission will be reviewed for completeness and scheduled for the next scheduled Design Review Board meeting.

- C. Parties involved will be notified of time and place of the Design Review Board meeting.

5.01.00. THE SUMMIT DESIGN GUIDELINES

5.01.01. The Summit Neighborhoods Design Vision

- A. The Summit Neighborhoods are defined as Gold Dust, Granite Springs, Golden Bear Meadows, Summit Ridge, Murphy’s Creek, Webb Peak, Jackson’s Point and Summit Fairways. These areas epitomize the high alpine meadows and wooded slopes of western Colorado. Early settlers trekked to the tops of these mountains in search of game and breathtaking views, and often ended up constructing homesteads. The Summit Neighborhoods now occupy these special places and enjoy the close connection to nature which is characteristic of Colorado’s high country.
- B. The design vision for The Summit Neighborhoods has a recall to the romantic shelters and homesteads found in mountainous terrain and high meadows. To this end, the notions of shelter from the elements, containment of open land, and direct allusions to Nature will be reinforced through the siting, architecture, and landscaping of The Summit Neighborhoods. Home sites are clustered to maintain more open land and views; houses are designed with low, sheltering profiles, overhanging roofs, and sturdy structures enclosing protected yards; and stands of trees are left intact to act as windbreaks and natural islands. The design vision also calls for expansive, yet well-proportioned and carefully detailed windows to take in the breathtaking views so characteristic of the site.
- C. The architectural style of the homes is meant to reference the high country lifestyle and connection to the landscape. Building forms may be organic and should “hug” the landscape with low, horizontal massing and windows integrated with structural forms to take advantage of sweeping, panoramic views. These forms offer protection from the elements, and at the same time “invite” the terrain into the dwellings. Small, private yards should be designed as defined and protected places, in contrast to the vast landscape of The Summit Neighborhoods. Materials should evoke a sense of time and weather, and details should recall the artisans of alpine heritage in a simple, but highly crafted fashion which makes direct references to Nature.
- D. The Design Guidelines for The Summit Neighborhoods augment and modify the Ranch at Cordillera Design Guidelines and are to be used in concert with them. Unless specifically supplemented or modified in this document, all requirements and limitations of The Ranch at Cordillera Design Guidelines are to be met. When conflicts exist between the Eagle County Land Use Regulations, The Ranch Guidelines, and these Supplemental Design Guidelines, the most restrictive document shall govern.

5.02.00. ARCHITECTURAL DESIGN GUIDELINES

5.02.01. Building Types and Sizes

Within each defined home site envelope of approximately 18,000 Square Feet (SF), the following structures may be built at The Summit Neighborhoods:

A. Single-Family Residence

Any single-family residence may have a livable floor area per The Ranch at Cordillera Design Guidelines. Porches, patios, balconies, and other unenclosed spaces—regardless of whether they are covered or uncovered—are not to be counted toward the maximum livable floor area.

B. Garages

Residences are encouraged to have semi-attached or detached garages which form part of the protected yards

and are related to the main structure with breezeways or other covered, connecting structures. However, attached garages are permitted if they are clearly articulated as separated forms. All vehicles, including recreational vehicles, boats, secondary vehicles, or machinery, must be parked within the garage. To avoid a continuous series of garage doors within the neighborhood, no garage structure—attached or detached—may have more than three single-width garage doors. Garage bays not to exceed 25 feet deep, with maximum aggregate footprints of 950 SF.

C. Accessory Buildings

Accessory buildings are defined as uninhabitable structures such as storage sheds, workshops, and the like. No single accessory building may have a footprint exceeding 500 SF, and the total area of all accessory buildings within any lot may not exceed 1000 SF. All accessory buildings must be specifically approved by the Design Review Board (DRB) and shall be constructed of similar materials and quality as primary structures.

D. Existing Historic Structures

Some of the lots within The Summit Neighborhoods may contain one or more historic structures, such as log cabins, wood fences, and the like. Homeowners may not remove or relocate these existing structures under any circumstances without prior Design Review Board approval. Prior Design Review Board approval is also required to restore or renovate these historic structures.

5.02.02. Landscape Context Areas

The Summit Neighborhoods are divided into three distinct Landscape Context Areas—the Open Sage Area, the Aspen/Conifer Forest Area, and a third, transitional, Sage/Shrub Area. Residences located within the Sage/Shrub Area shall comply with the guidelines set forth for the Open Sage Area. The two sets of requirements are outlined within the area guidelines to follow.

- A. The Open Sage Area is comprised of large expanses of sage and wildflower meadows which offer tremendous panoramic views from The Summit Neighborhoods. Since these large expanses are generally not interrupted by trees or other significant foliage, building forms within this area must be particularly sensitive to the natural context. To this end, residences and other structures shall be designed with low, horizontal building forms, and relatively shallow roofs. Bright colors should be used on small-scale detail elements, to accent “weathered” building materials.
- B. The Sage/Shrub Area is the transition zone between the Open Sage Area and the Aspen/Conifer Forest Area. It is comprised of the “fringes” of sage and wildflower meadows, interspersed with low-level aspens and shrubs. This area is not as sensitive as the Open Sage Area, but residences within should still be characterized by low, horizontal building forms and shallow roofs. Bright colors are again encouraged at detail elements.
- C. The Aspen/Conifer Forest Area consists of large stands of robust aspen and conifers. These dense, sheltering stands often reach heights of 50 feet or more, and tend to direct views through natural corridors and openings. Residences within this area should be characterized by more upright building forms which are more conducive to the scale of the large, surrounding trees. Overall building massing may be more vertical, and steeper roofs are permitted. Bright accent colors may be used on a very limited basis.

5.02.03. Mountain Tract Restrictions

The Mountain Tract consists of parcels as described within the Fourth Amended and Restated Cordillera Planned Unit Development Control Document recorded in Eagle County, Colorado, and includes The Summit

Neighborhoods at Cordillera. Additional restrictions apply to all lots within the Mountain Tract—including The Summit Neighborhoods. Contact the Cordillera Design Review Board Coordinator for more information.

5.02.03. Fire Suppression

All structures within the Mountain Tract (filings 34-40), including structures in the Territories, must be constructed with an interior fire suppression system. Accessory buildings, as defined by the Supplemental Guidelines for the Territories, may be exempt from this requirement at the discretion of the Local Fire Authority having jurisdiction.

5.03.00. OPEN SAGE AND SAGE / SHRUB AREA DESIGN GUIDELINES

5.03.01. Building Form, Massing and Height

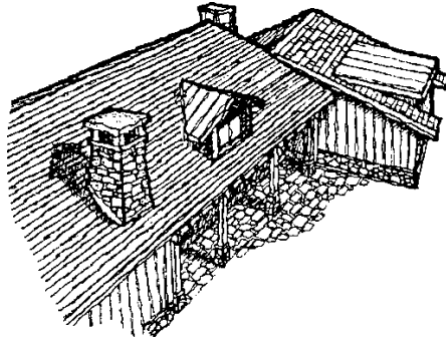
- A. The building form and massing within the Open Sage and Sage/Shrub Areas of The Summit Neighborhoods should be in keeping with high country antecedents such as alpine homesteads and early trail shelters. Simple forms which follow the natural contours of the site are encouraged. Low, horizontal profiles enclosing protected yards shall be used to provide psychological and physical shelter from the vast landscape and protect from the weather. To reinforce these notions, single-story masses should be the prevailing forms for structures, with variations in massing used to articulate important spaces or accommodate terrain changes. These forms should “hug” the landscape and offer consistent, horizontal “layers” to buildings within this area.
- B. Buildings within the Open Sage and Sage/Shrub Areas are limited to a Maximum Average Height of 30 feet. In addition, building heights are also governed by the Maximum Finite Height of 35 feet, measured from the highest point on any roof to the original grade directly below that point. Cupolas, chimneys, and other architectural features may exceed the Maximum Finite Height with prior approval from the Design Review Board.



5.03.02. Roofs

- A. Design of roofs should be consistent with the horizontal nature of building forms, using relatively shallow roofs combined with large, protective overhangs. 36”-deep overhangs are preferred, and should be supported by robust, exposed rafters. Roofs should be simple in form, with small, low-slope shed, gable, or hip dormers used to articulate the roofs and offer large-scale texture by visually breaking up the roof

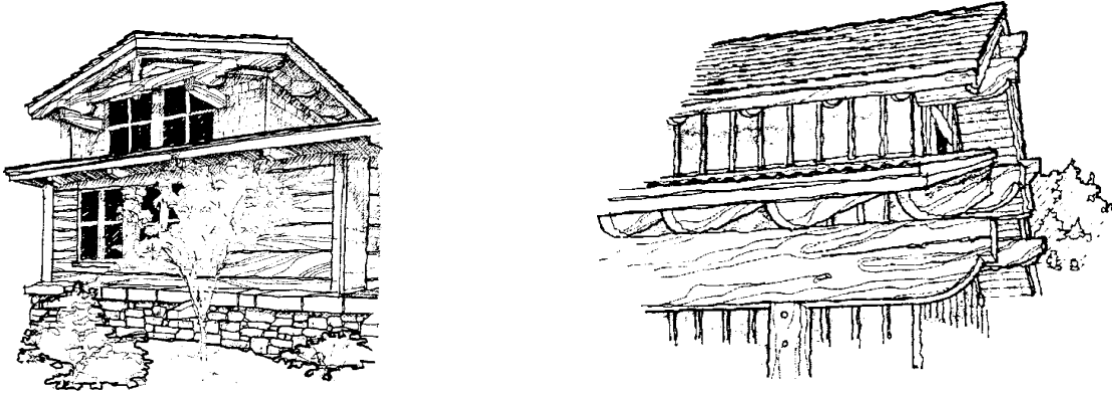
mass. Individual dormers should comprise no more than 25% of the total roof area, and may include overhangs less than 36" deep, but in proportion to the dormer size. Due to the considerable elevation and exposure in this area, lightning rods are strongly recommended, and when used should be consistent with other metal ornamentation on the homes. Roof materials should evoke the natural setting and a sense of permanence through time, using "weathered" composite shakes on primary roofs. Metals which are pre-finished to convey a sense of age—such as copper, corten steel, galvanized steel, zinc, and terne metal—may be used on secondary roofs. Concrete tiles are not permitted at The Summit Neighborhoods. All metal roofs may be used in areas of high or extreme wildfire hazard with DRB approval.



- B. Major roofs within the Open Sage and Sage/Shrub Areas are limited to a maximum 8:12 pitch (with 6:12 preferred), while minor roofs on dormers and porches may be as low as 3:12 pitch. Low-pitch roofs should be covered with appropriate materials for the low slope, such as metal.

5.03.03. Exterior Wall Materials and Colors

- A. The tie to Nature at The Summit Neighborhoods can be strengthened by the use of indigenous stone, wood, and metal which elicit a sense of location, age, and weather. To this end, these materials are the only acceptable exterior wall materials within the Open Sage and Sage/Shrub Areas—stucco is not permitted. Sandstone, "moss rock," granite, or quartzite-type stones shall be used on building bases to tie the horizontal building forms to their flat sites. Stone shall be in random pattern, laid with strong horizontal bedding planes, and constructed with deeply-raked mortar joints to emphasize the horizontal massing. Smaller stones should generally be laid above larger stones, and while battering is encouraged, it is not required. Rounded river rock and similar alluvial stones are not permitted, nor are face stones which give the appearance of an obvious veneer. All stone should be in hues of gray, gray-beige, and green, to reflect the sage and meadow colors.
- B. Wood should be the predominant material for walls above the building base. Bold, "weathered" siding—using hewn, vertical board-and-batten or hewn horizontal boards—recalls the rustic nature of the site. 10"-wide minimum by 1-1/2"-thick minimum siding is preferred, to reinforce the rustic, sheltering nature of structures within the Open Sage and Sage/Shrub Areas. In addition, siding should be articulated with 1/2"-deep chamfers or eased edges to express the thickness of the material—wavy-edged siding may also be used to intensify its rustic appearance. Wood shingles may be used to accent gable ends or as a secondary material on dormers. The use of heavy timbers as expressed structural elements is strongly encouraged—timbers should be aged similar to wood siding. Log structures are discouraged within this zone, but are appropriate in the Aspen/Conifer Forest Area. Wood in naturally-aged grays, greens, or browns should be used to reinforce the sense of age and permanence.



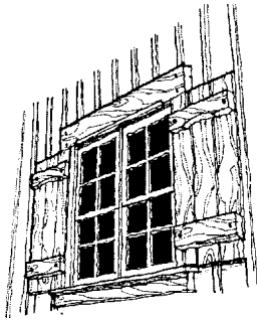
- C. Ornamental metal—crafted by artisans—should be used as an accent material in special locations only. Wrought or black iron detailing, which can be matched to the lightning rods atop the roofs, should be used at unique structural connections and other special locations, such as door and window hardware.

5.03.04. Accent Colors and Detailing

- A. Accent colors should be used on a limited basis to recall the hues of spring and reference the resplendent wildflowers of the open meadows. Components such as window trim, door trim and structural connections can feature vibrant colors to set them apart from the “weathered” nature of the other building materials. Colors which are inherent to the mountaintop setting, such as reds, greens, golds, blues, and purples, are most appropriate.
- B. Detailing should be characterized by delicate works of craftsmanship. This artisan-inspired detail will be most successful when juxtaposed against the rustic, bold nature of the elements such as doors, shutters, lintels, columns, or other architectural elements.

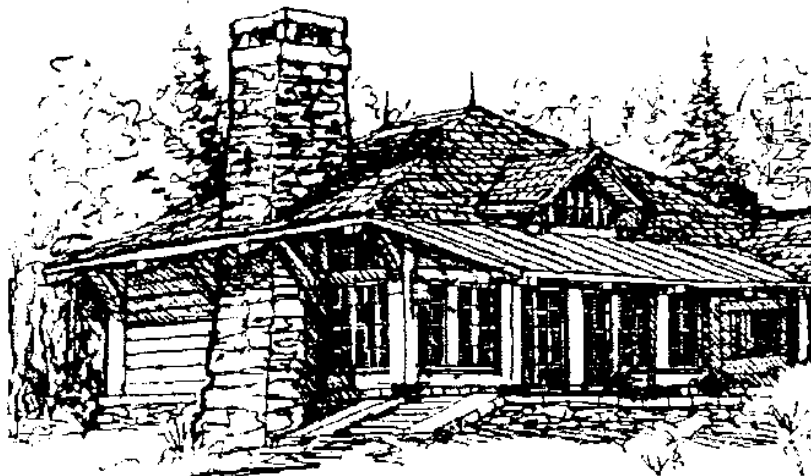
5.03.05. Windows and Doors

- A. Windows and doors within the Open Sage and Sage/Shrub Areas should be of simple proportions and reflect the grandeur of the mountaintop views. Openings should be simply designed, with heavy surrounding trim and well-crafted, delicate detailing in the form of carved shutters, decorative trim, and crafted lintels. Windows in protective walls should be fairly small (preferably double-hung) and divided with lights, while windows which engage the panoramic views may be larger, with more expansive areas of glass and fewer divided lights. These larger windows are to occur within infill areas which are integrated with the bold structural framing of the building. They are to be scaled and proportioned through secondary frames and mullions and be set back under large roof overhangs. When used, bay windows which are rectangular are encouraged over those which are multi-faceted or curved. Shutters are encouraged to emphasize the sheltering aspect of the homes within this area, and should be constructed of heavy, sturdy members such as rough-sawn 2x or 3x material. Heavy wood entry doors should face away from prevailing weather and evoke a sense of strength, protection, and shelter. Glass doors may be used at view walls, but are strongly discouraged at main entries. Hardware should be highly crafted and sturdy, to offer a consistent image for doors within The Summit Neighborhoods.



5.03.06. Porches, Terraces, and Balconies

A. Residences shall incorporate low, covered porches, minimum depth of eight feet, located to take full advantage of views and to provide shelter for main entries. Wrap around porches are encouraged. In general, porches should face away from prevailing winds and exhibit the delicate detailing found throughout the residences, in the way of railing details and structural articulation. The use of on-grade terraces within the protected yards is encouraged to animate the yards and integrate exterior and interior spaces. Balconies should be incorporated within protected alcoves formed by the massing of the buildings, as opposed to cantilevered structures attached to buildings. Guardrails offer the opportunity for creative expression and should reinforce the artisan-inspired detailing of The Summit Neighborhoods through carved pickets, posts, and guardrails. Wood guardrails present more of a “rustic” image and are therefore encouraged over iron guardrails.



5.03.07. Chimneys

Chimneys should be constructed of stone in random, horizontal coursing to match building bases. They should be relatively low in profile—rather than thin, vertical forms—and be visually tied to stone bases through similar detailing and color. Chimney caps should be simple and horizontal, and constructed of sandstone to complement the nature of the overall building and roof forms within the Open Sage and Sage/Shrub Areas.

5.04.00. ASPEN / CONIFER FOREST AREA DESIGN GUIDELINES

5.04.01. Building Form, Massing and Height

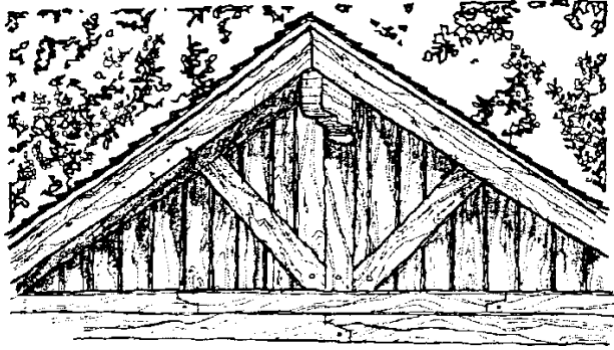
- A. The building form and massing within the Aspen/Conifer Forest Area should begin to introduce more vertical elements to The Summit Neighborhood. Simple forms that respect the natural contours of the site are still encouraged, but these forms do not need to be primarily horizontal in nature. The articulation of protected yards through form and massing is not required; however, forms should still respond to primary views, terrain influences, and prevailing weather.



- B. Buildings within this area are limited to a Maximum Average Height of 32 feet. In addition, building heights are also governed by the Maximum Finite Height of 35 feet, measured from the highest point on any roof to the original grade directly below that point. Cupolas, chimneys, and other architectural features may exceed the Maximum Finite heights with prior approval from the Design Review Board.

5.04.02. Roofs

- A. Roof forms within the Aspen/Conifer Forest Area may also be more vertical, with steeper roofs and higher heights permitted. Roofs should remain simple in form, with large overhangs and significant dormers used to articulate major views or spaces. Overhangs which are 36" deep minimum are preferred, and should be supported by sturdy, exposed rafters and other structural members. Shed, gable, or eyebrow dormers may be used to provide livable space within roofs, and take advantage of special vistas. Dormers sizes relative to the overall roof area shall comply with The Ranch at Cordillera Design Guidelines, and may include overhangs less than 36" deep, provided the overhangs are in proportion to the dormer size. Lightning rods are encouraged, and when used should tie in with other metal ornamentation on the homes.
- B. Roof materials should evoke the natural setting and a sense of permanence through time, using "weathered" composite shakes on primary roofs. Metals which convey a sense of age—such as copper, corten steel, galvanized steel, zinc and terne metal—may be used on secondary roofs, provided they have natural patinas. Concrete tiles are not permitted at The Summit Neighborhoods. All metal roofs may be used in areas of high or extreme wildfire hazard with DRB approval. Major roofs within this area should have 8:12 to 12:12 pitch, while minor roofs on dormers and porches may be as low as 3:12 pitch. Building designs having the primary roof pitch less than 8:12 may be considered based upon the merits of the individual design and its overall conformance to the spirit of the design guidelines.



5.04.03. Exterior Wall Materials and Color Scheme

- A. Stone, wood, and metal are the only acceptable exterior wall materials within the Aspen/Conifer Forest Area—stucco is not permitted. Stone shall be used on building bases to tie the horizontal building forms to their sloping sites. Coursing shall be in random pattern, laid with subtle horizontal bedding planes, and constructed with deeply raked mortar joints to create a consistent image for this area. Smaller stones should generally be laid above larger stones, and battering is encouraged. Rounded river rock or similar are not permitted.
- B. Wood should be the predominant material for walls above the building base. Bold, “weathered” siding—preferably using 10” or wider hewn, vertical board-and-batten or hewn horizontal boards— recalls the forested nature of the site. Horizontal and vertical siding may be wavy-edged to strengthen the “forest” image. Wood shingles may be used as accents on gable ends or dormers only, and should appear as heavy cedar. Wood in naturally-aged tones of gray, green, or brown should be used to reinforce the passage of time. The use of heavy timbers to convey structural frame or logs as stacked walls is encouraged. Timbers and logs should be hewn or otherwise finished to present a rustic image for the area.
- C. Ornamental metal—crafted by artisans—should be used as an accent material in special locations only. Wrought or black iron detailing, which can be matched to the lightning rods atop the roofs, should be used at unique structural connections, door and window hardware, and handrails.

5.04.04. Accent Colors and Detailing

- A. Accent colors should be used on a very limited basis within the Aspen/Conifer Forest Area. Components such as window trim, door trim, and structural connections should be in colors which complement the forest hues, while accent colors may be used at special details such as carved lintels, shutters, and main entry doors. Accent colors may include those hues which are inherent to the mountaintop setting, such as reds, greens, golds, blues, and purples; however, all accent colors require final approval by the Design Review Board prior to use.
- B. Detailing should be characterized by delicate works of craftsmanship. This artisan-inspired detail will be most successful when juxtaposed against the rustic, bold nature of the elements such as doors, shutters, lintels, columns, or other architectural elements.

5.04.05. Windows and Doors

Windows and doors within the Aspen/Conifer Forest Area should be of simple proportions and designed to frame views through the stands of trees. Openings should be simply designed, with heavy surrounding trim

and well-crafted, delicate detailing at carved shutters, decorative trim, and crafted lintels. Windows in protective walls should be fairly small (preferably double-hung) and divided with lights, while windows that engage views may be larger, with more expansive areas of glass and fewer divided lights. Bay windows of various shapes may be used to direct views and integrate interior and exterior spaces. Shutters are encouraged and should be designed using robust materials such as 2x or 3x rough-sawn members. Heavy wood entry doors should evoke a sense of strength, protection, and shelter, using heavy planking and sturdy hardware. Glass doors may be used within window wall assemblies, but are discouraged at primary entries.



5.04.06. Porches, Terraces, and Balconies

Residences shall incorporate low, covered porches, minimum depth of eight feet, located to take full advantage of views and to provide shelter for main entries. Wrap around porches are encouraged. Porches should exhibit the delicate detailing found throughout the residences, in the way of railing details and structural articulation. On-grade terraces are encouraged to bring the out-of-doors into homes. Balconies may be articulated as protected alcoves formed by the massing of the buildings, or as cantilevered structures attached to buildings. Members used to physically or visually support cantilevered balconies should be sized appropriately, to reinforce the robust image of The Summit Neighborhoods and the large trees of the forest. Guardrails should be designed using wood or wrought iron materials, and light members to maintain transparency through balconies.



5.04.07. Chimneys

Chimneys within the Aspen/Conifer Forest Area should be constructed of stone to match building bases. They should be visually tied to building bases through similar detailing and color, and may be significantly higher than those found within the Open Sage Area. Chimney caps should be simple, to complement the nature of the overall building and roof forms, but may take on a decorative nature which complements the other detailing found on the structure.

5.05.00. SUMMIT LANDSCAPE DESIGN GUIDELINES

5.05.01. Exterior and Landscape Lighting

The clarity of the night sky at The Summit Neighborhoods is a strong value to be preserved. Light pollution is a threat to the clear stars that are central to the heritage of the West. Therefore, exterior night lighting is to be kept to an absolute minimum, no more than 60 total watts, and all lights should be activated for short-term use. Any fixtures that do exist are to be horizontal cut-off fixtures with controlled downward light onto the minimum necessary area. Horizontal cut-off fixtures are those in which the light source is screened from view. Light sources shall not be visible from anywhere outside The Summit Neighborhoods. **The following types of lights are specifically prohibited:**

- “Security” yard lights and spot lights
- Landscape lighting (except for primary walkways as required for safety)
- Plant and tree lighting
- Architectural lighting of buildings
- Up-lighting, except address marker lighting

6.01.00. THE TERRITORIES DESIGN GUIDELINES

6.01.01. Introduction

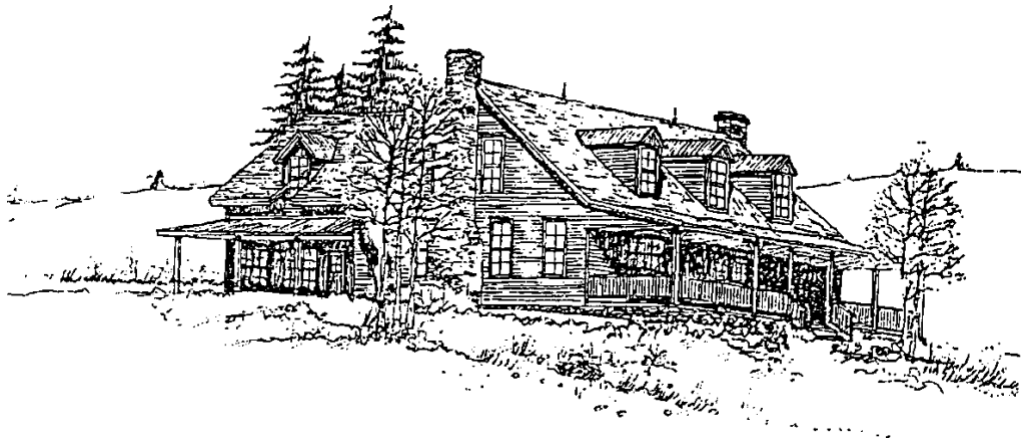
These supplemental design guidelines for the Territories modify and supplement the Cordillera Design Guidelines for the Ranch at Cordillera. They are to be used in concert with the underlying design guidelines for the Ranch. Unless specifically modified or supplemented in this document, all requirements and limitations of the Design Guidelines for the Ranch must be met. Where a conflict exists between the Eagle County Land Use Regulations, Cordillera Design Guidelines and these supplemental design guidelines, the more restrictive document shall govern.

The Territories at Cordillera are part of a vast landscape...panoramic views extend for miles in all directions. The true heritage of the American West is felt in the high open meadows, wooded slopes, and rocky ravines that have been the home of cattle and sheep ranches for the past 100 years.

The design goal for the Territories is to retain the essence of the landscape and its Western ranch heritage. To accomplish this, each 35 acre lot will have a ±four acre homestead in which all buildings and corrals will be located. One entry gateway is permitted along the primary entry drive within each homestead. The remaining land will provide an open preserve; traversed by trails, access driveway and wildlife corridors.

The architectural style for buildings is meant to support the heritage of high country ranches found in the American West. Buildings are to be designed in a mutually supportive cluster or compound. Forms are to be

additive to create a pleasing composition in the landscape. Materials are to be indigenous with textures, colors and patterns that merge with the surrounding land. Within these broad characteristics, owners and their designers are encouraged to be creative and spirited so that the ranch community is enriched by individual expression and exemplary architecture.



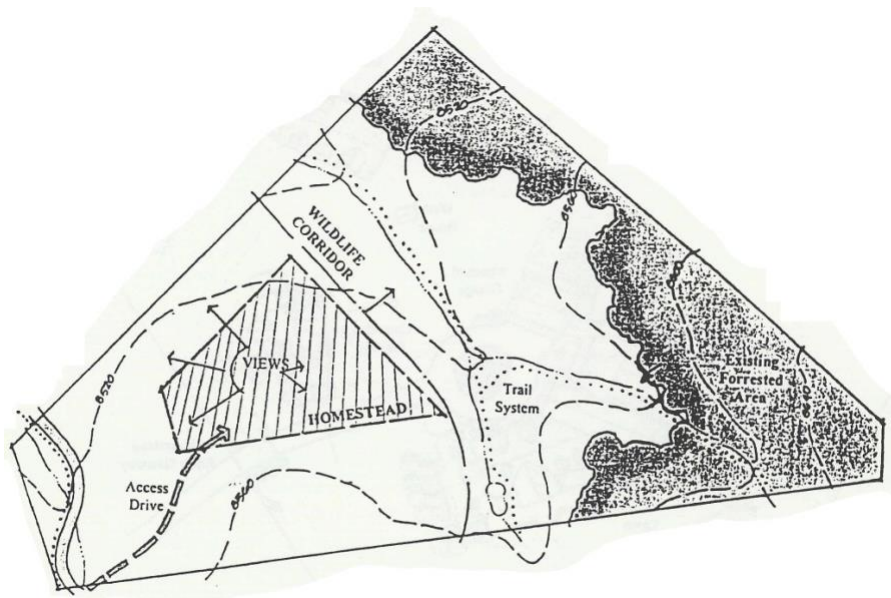
6.02.00 SITE PLANNING GUIDELINES

6.02.01 The Development Plan

The development of each lot in its entirety in a sequential and appropriate manner is required for the Territories. Each lot owner shall prepare and present a completed plan for the development of their lot along with a schedule of completion of all improvements before any application for design review approval will be considered. The goal is that the caretaker unit and the main house be constructed simultaneously or within a short time frame of each other and to develop outbuildings in conjunction therewith. The initial application for the development any lot in the Territories shall contain a complete application for the development of the entire lot. Such plan shall include the location and design of the main residence as well as any secondary buildings. A schedule of building shall be imposed on said Lot Owner to ensure that construction of the main residence is commenced and diligently pursued within one year of the completion of a caretaker unit and/or other outbuildings.

6.02.02 The Homestead

- A. Each approximately 35 acre lot within the Territories will have a \pm 4 acre Homestead designated on the parcel map. This Homestead is available for the construction of buildings and site improvements such as lawns, gardens, corrals, and riding arenas. No permanent improvements other than access drives and trails are allowed outside the Homestead boundary. While portions of the Homestead may be enclosed with fencing, it is not the intention of these regulations that the perimeter of the Homestead be fenced in a contiguous boundary fence. Rather, "living fences," landscape planting, existing vegetation, buildings, and fencing should be used to enclose the Homestead.
- B. A primary goal of these regulations is to encourage the development of a "ranch compound" made up of a number of structures whose additive forms coupled with landscaping create a tightly knit composition...rather than the development of a large solitary residence.
- C. In essence, the Homestead will become an island within the 35 acre lot, but the edges of the Homestead "island" should transition in a visually pleasing manner back to the natural landscape on the remainder of the lot.



6.02.03 Wells

A well, or other acceptable potable water source, will be provided for each Homestead. When practical, the well will be located within the Homestead, but if necessary, it may be located outside the Homestead or even on an adjacent property. An enclosing well building that conforms to the architectural guidelines may be built for each well.

6.02.04 Septic Systems

A septic system or other approved waste disposal system must be provided for each residence. The system must be approved by Eagle County. When possible, the system, including any leach fields, should be located within the Homestead.

6.02.05 Trails

A series of equestrian and hiking trails will be developed throughout the Territories. Many times, these trails will pass through the +35 acre lots, but they will not be constructed within the Homestead. As part of the site planning for each property, connecting trails from the Homestead to the common trails should be developed by the lot owner. Connecting trails may be gated within the Homestead with a gate consistent with that of the adjacent fencing.

6.02.06 Stock Ponds and Wetlands

Some of the lots within the Territories may contain stock ponds and/or wetlands which have been identified by the U.S. Army Corps of Engineers as being under their jurisdiction. If a homeowner wished to enlarge or enhance these areas with wetland plants they must obtain a wetland permit from the Corps for this work. An equal or greater area of wetland habitat must be created when a pond is enlarged. Please note, Cordillera can provide a map illustrating the wetland boundary around your pond. Plans for any modifications to existing wetlands must first be submitted for approval to the Design Review Board prior to applying for a wetland permit with the U.S. Army Corps of Engineers.

6.03.00 ARCHITECTURAL DESIGN GUIDELINES

6.03.00 Building Types and Sizes

Within each defined homestead of ± 4 acres, the following buildings may be built:

A. Single Family Residence

Single family homes can have a maximum livable floor area of 15,000 sq. ft. Porches, patios and other unroofed spaces are not to be counted as part of the livable floor area.

B. Caretaker Cottage

The Caretaker Cottage may have 1,800 sq. ft. maximum livable floor area, pursuant to Section 12.05.18 of the Eagle County Land Use Regulations.

C. Barn

Barns may have a 2,000 sq. ft. maximum footprint. Barns are intended to be for the shelter of animals, such as a maximum of four horses, which are applied by the Site Planning Regulations. As with garages, the maximum square footage indicated is for the footprint only. A second floor is allowed provided the space it creates is for storages (not habitable) and the building does not exceed the height limitations.

D. Indoor Riding Arena

To be used for the exercise and training of horses. The arena may be contiguous to the barn of free standing and may have a 15,000 sq. ft. maximum footprint.

E. Garages

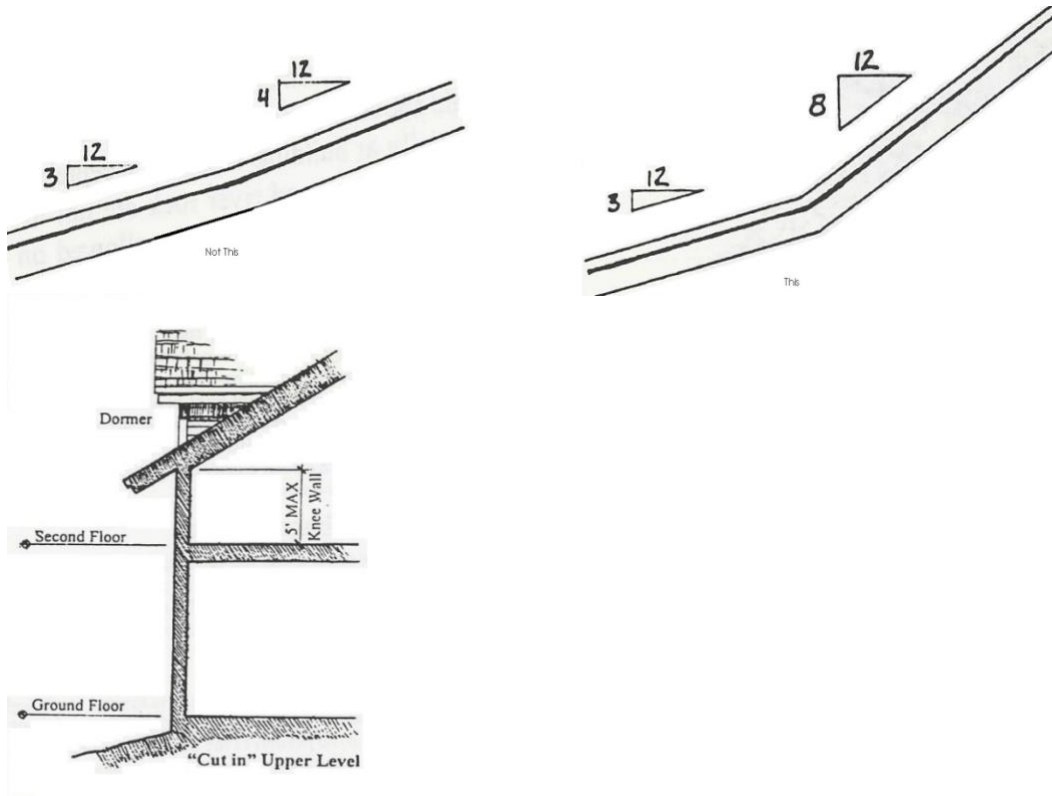
Homes are encouraged to have attached garages for primary vehicles. All vehicles, recreational vehicles, animal trailers, boats, and all other secondary vehicles of machinery at the Territories must be parked within a garage. Garage buildings may be attached or detached from the primary residence. In order to avoid a continuous series of garage doors, and large garage structures, no single garage building or attached garage should accommodate more than three bays of 25 foot maximum depth each. Garages may have a total aggregate 2,500 sq. ft. maximum footprint.

F. Accessory Buildings

Accessory buildings are non-habitable structures that may include loafing sheds, storage sheds, well buildings, and hay storage barns. No single accessory building can have a footprint in excess of 500 sq. ft. The total footprint of all accessory buildings cannot exceed 1000 sq. ft. All accessory buildings must be specifically approved by the Design Review Board and be of a similar quality and construction as other buildings on the property.

G. Existing Historic Structures

Some of the lots in the Territories may contain one or more existing historic ranch structures. Homeowners may not, under any circumstances, remove or relocate these existing buildings without Design Review Board approval. Homeowners may restore or renovate these structures with Design Review Board approval.



6.03.01 Roofs

Pitch of roofs should incorporate two complementary pitches such as a low pitch of 4:12 and high pitch of 8:12. The minimum allowable pitch is 3:12 and the maximum allowable pitch for a primary roof plane is 8:12. Building designs having the primary roof pitch less than 8:12 may be considered based upon the merits of the individual design and its overall conformance to the spirit of the design guidelines. Dormers and other architectural roof features may have a maximum allowable pitch of 12:12. Because of the limitations on the performance of roofing materials, it is recommended that roofs of less than 4:12 pitch be metal. All upper floor rooms must be “cut in” to the roof with a maximum “knee wall” of 5 feet for the upper floor.

6.03.02 Roof Materials

Buildings should incorporate two roofing materials within the “ranch compound”. Any individual building may utilize either one or two roof materials, but two materials must be used within the compound. The predominate materials in to be constructed of individual unit pieces, such as synthetic shakes, concrete/wood composition shingles, or natural slate. The secondary roof material is to be a non-reflective, naturally weathering metal such as copper, corten steel, zinc, or terne metal. All roofing materials must have a fire resistance rating. Owners may be required to treat metal roof materials in order to accelerate the natural weathering process, if at the discretion of the Design Review Board the natural weathering process has not adequately dulled the finish on the roof within six months of installation.

6.03.03 Exterior Wall Material

Exterior wall materials will be limited to stone, wood, and metal. Stucco may not be used as an exterior wall material.

A. Stone

In order to visually tie a building to its site, stone should be used around the base of all buildings. Stone is

to be random to rectangular shapes laid in an informal horizontal pattern with deep raked mortar joints such as random non-coursed ashlar or non-coursed ledge rock. Smaller stones should be generally laid above larger ones. Battering of stone walls, especially at building bases, is acceptable. Rounded alluvial rock and river rock are not indigenous to the site and will not be allowed on exterior walls.

B. Wood

Wood may include logs, either natural round profiles or rectangular hewn logs; timber; and wood siding. Wood shingles may be used in secondary areas such as gable ends or dormers, but shingles may not be used as the primary material on an exterior wall. Log structures are required to have a minimum of 20% of every exterior elevation wall surface expressed as stone.



C. Metal

Corrugated metal siding may be used with specific approval of the Design Review Board, provided the material used meets their requirements of approved metal roofing material and is complementary to the metal roof material used on the same project.

D. Chimneys

Chimneys must be constructed of stone or a blend of stone and cut stone. Chimneys may not be encased in stucco or wood. On a log building, the stone chimney shall count toward satisfying the 20% minimum requirement for stone on every exterior elevation. Chimney caps should be simple and understated and may include a metal wind diverter cap. Exposed metal flues or spark arrestors are not permitted.



E. Porches

Each primary residence and guest cottage/bunk house must incorporate a covered exterior functional sitting porch into the design. Where possible, porches should relate to trails that pass by the residence or cottage, and/or the porch should orient to the arrival area and incorporate the primary entry. The minimum depth required for porches is 8 feet for caretaker cottages and 12 feet for the primary residence. The requirement for porches shall not be satisfied by non-covered decks.

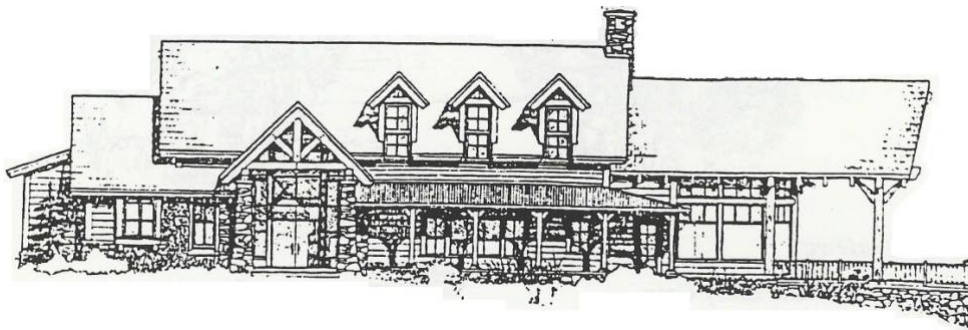


F. Windows

The views to the open landscape offer an important value for homes within the Territories. Therefore, large glass areas are appropriate, but they must be integral to the structural expression of the building, and must contain, in part, true divided light or simulated divided light window mullions. Snap-on, removable grids are prohibited. Large glass areas are to be framed or defined by massive stone, log, or timber elements to create a proportional balance and to avoid a glass curtain wall or industrial sash expression. In addition, large window areas are to appear recessed by projecting roof overhangs, balconies, or other projections that will place much of the glass area in shadow. The structural expression of window sills, lintels, and trim should be appropriate to the building material in which the window is located. For example, it is appropriate for a window in a stone wall to have a timber or stone lintel and stone sill.

G. Form and Massing

Buildings are to be made up of additive forms that transition from lower and smaller components on the ends, to taller and larger components in the middle. No single wall plane may exceed 70% of the elevation on any exterior exposure. Breaks in the wall plane must be at least a four foot setback.



6.04.01 LANDSCAPE DESIGN GUIDELINES

6.04.02 Harrington Penstemon

Harrington Penstemon located outside the building envelope shall remain undisturbed. Homes, site access or utility lines shall be designed to minimize impacts on any populations located within the building envelope. When impacts cannot be avoided, Harrington Penstemon shall be transplanted elsewhere on the site. This applies to all lots within the Mountain Tract containing the plant species Harrington Penstemon.

6.04.03 Landscape Areas

Areas outside the ±4 acre homestead (hereafter referred to as the Homestead) are to be left in their natural state other than trails, roadways, and possible well building. The landscape design must provide a comfortable transition back to the native landscape at the perimeter of the Homestead. Permanent underground irrigation systems for lawns and flower gardens are permitted within the Homestead, provided that such areas do not exceed 7,500 sq. ft. Temporary irrigation methods are prohibited except as allowed in the Ranch Guidelines for re-vegetation of disturbed areas. Refer to the Ranch Guidelines for additional information concerning native and manicured landscape areas and irrigation.

6.04.04 Fire Suppression Zone

Some areas of the Territories may have vegetation, slope, and prevailing wind conditions that could lead to a potential wildfire hazard. These areas will require a fire suppressing zone where vegetation is maintained to buffer the home site improvements from risk of wildfire. Generally, this fire suppression zone should be accommodated within the ± 4 acre Homestead. On lots where clearing of vegetation is required to reduce the wildfire hazard around a residence or other structure, such clearing must take place entirely within the homestead building envelope.

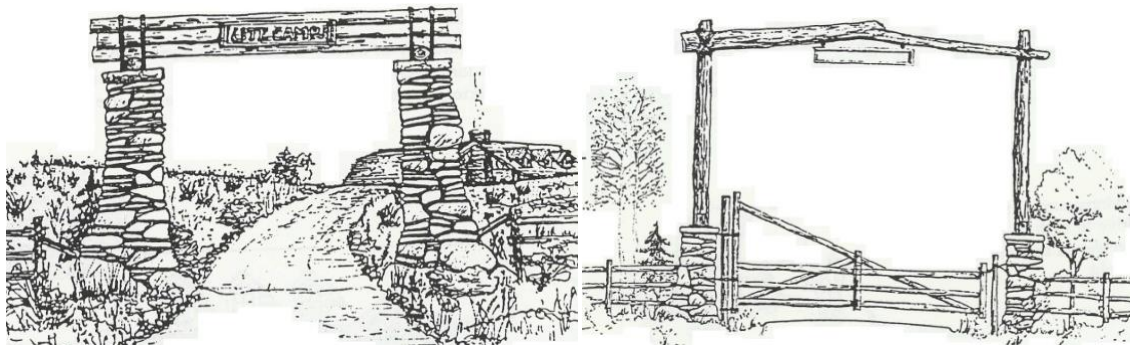
6.04.05 Address Sign

A stone cairn with an address number must be constructed at the entry drive to each of the 35 acre lots. The address number should be illuminated by a low wattage, focused light.



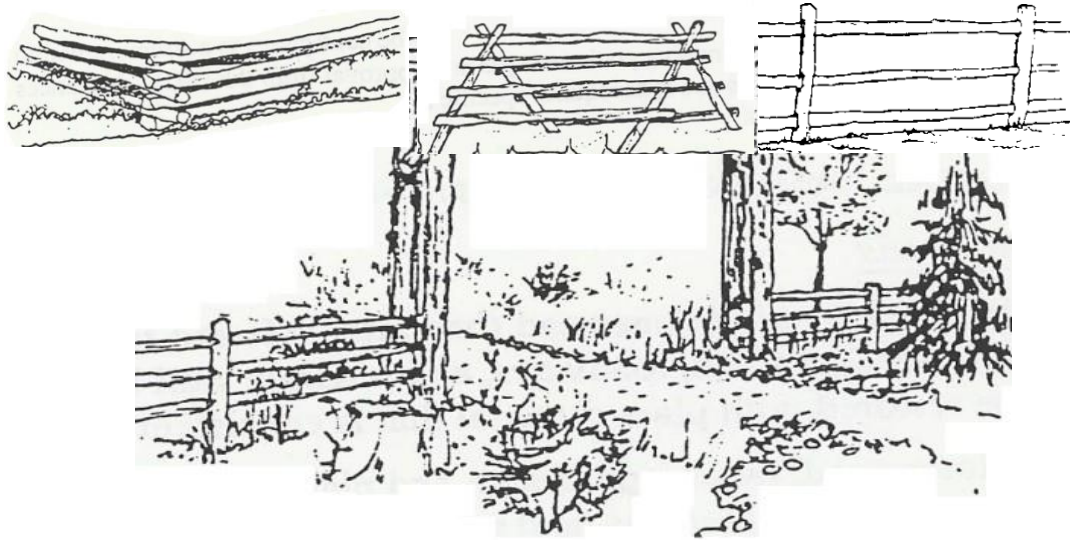
6.04.06 Homestead Entry Gateway

Each Homestead may have one entry gate made of stone, log, or timber. The gateway must be located within the Homestead along the primary entry drive. A 30 foot (maximum) section of fencing may extend from each side of the gateway. At the limit of the 30 feet, the fence must return to the ground or otherwise terminate in a natural fashion unless it meets and becomes the corral fence within that distance.



6.04.07 Fences

The fence types illustrated below are consistent with the design theme of the Territories. Fences must be constructed of wood, except for corrals and working arenas where fences may be constructed of other materials, for functional reasons, with the approval of the Design Review Board. No prefabricated fencing will be allowed. All fence designs and locations are required to be approved by the Design Review Board and must be consistent with the Wildlife Mitigation Agreement for the Territories at Cordillera.



6.04.08 Vegetable Gardens

A vegetable garden of no more than 10,000 sq. ft. is allowed on each Homestead. The garden should be sited in such a way as to be screened from neighboring properties as much as practical. The amount of area cultivated as a vegetable garden will not be considered part of the maximum allowed for irrigated lawns and flower gardens. Vegetable gardens may be fenced to protect them against wildlife. This fencing may be of a finer mesh applied to an approved fence type.

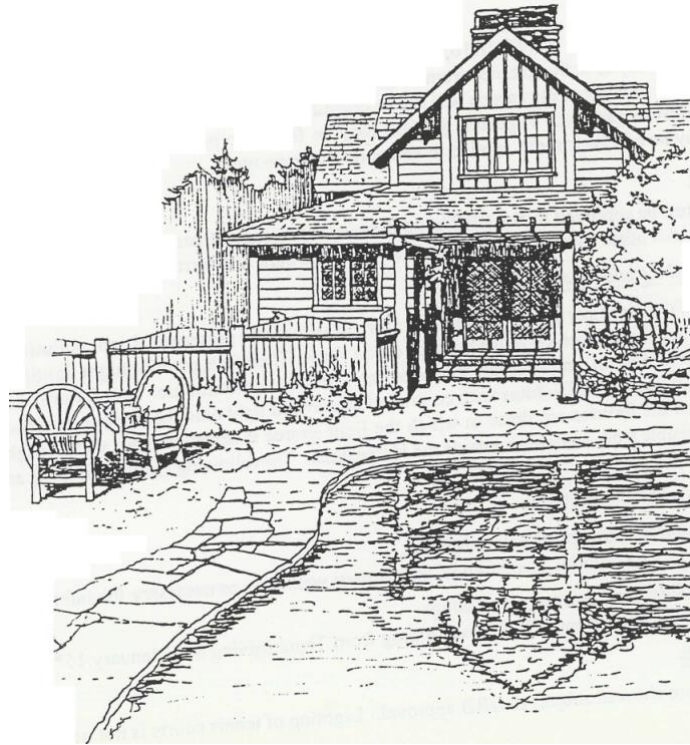
6.04.09 Dog Runs

Dog runs must be approved by the Design Review Board but are otherwise an appropriate use as described in the Ranch Guidelines Section 4.04.10 E. All other animals must be housed within the barn and corral.

6.04.10 Exterior and Landscape Lighting

The clarity of the night sky at the Territories is a strong value to be preserved. Light pollution is a threat to the clear stars that are central to the heritage of the West. Therefore, exterior night lighting is to be kept to an absolute minimum, and all lights should be activated for short term use. Lighting of the primary walkways as necessary for safety is encouraged with low voltage downcast lights. All fixtures used shall be horizontal cut-off fixtures casting light downward onto the minimum necessary area. The light source within the fixture should not be visible. Christmas lighting is allowed from Thanksgiving until January 15th. The following types of lighting are prohibited:

- Security yard lights
- Landscape and plant or tree lighting.
- Architectural lighting of buildings.



6.04.11 Tennis Courts

Tennis courts are allowed subject to Design Review Board approval. Lighting of tennis courts is not permitted.

6.04.12 Swimming Pools and Spas

- A. Exterior swimming pools and spas are permitted within the Homestead with the following provisions. Both must be of a freeform shape with soft edges to blend with the surrounding landscaping.
- B. Fencing around swimming pools and spas must be contiguous to a structures within the Homestead. Fencing around pools and spas requires specific approval from the Design Review Board. All fences must conform to all applicable codes.
- C. Interior swimming pools of any shape may be enclosed within part of the single-family residence. The architecture surrounding the interior swimming pool shall be similar to that of the primary residence. Skylights and glass curtain walls are not permitted. The square footage of the pool structure will be considered part of the maximum livable floor area for the single family residence.

6.04.13 Horse Facilities and Operating Plan

The vast landscape and trail system of the Territories creates an ideal setting for equestrian activities. It is expected that many lot owners will elect to have horses kept on their property either on a part time or full time basis. Due to relatively fragile nature of native vegetation, the seasonal dryness of the high rangeland, the designation of wildlife corridors, and the proximity of neighboring properties, it is important that horse facilities, maintained, and operated in a responsive manner. Therefore, in addition to these design regulations which address the design of horse facilities, property owners must also submit an operating plan for their equestrian facilities to the Design Review Board. The operating plan must be ensure that waste feed, care and overall appearance meet with the high standards set for the entire Cordillera community. No horses are allowed on site unless the residents are occupying the property on a full-time basis, or a full-time caretaker is living on the premises.

A. Design of Horse Facilities

No more than four horses may be kept on any Homestead. A foal will be considered one of the four horses when it is weaned. Any other livestock or farm animals in lieu of horses, such as llamas, donkeys, or mules must be approved by the Design Review Board and shall not exceed 4 animals in total. All horse facilities must be located within the Homestead. No fenced areas or grazing will be allowed outside the Homestead. Each Homestead may contain the following Horse Facilities:

1. Barn:

The barn may contain stalls, tack room, feed storage, tool storage, vet room, a wash rack, and other such uses that are directly related to the keeping, care, and husbandry of horses. The Caretaker Unit may be integrated with the barn, but it is encouraged that the Caretaker Unit be constructed as a separate cottage or cabin. Hay storage may be located in a barn loft, as long as height limits for the barn are not exceeded.

2. Indoor Arena:

An indoor arena may be free standing or integrated with the barn. Due to the size of a typical arena, care must be taken to site the structure and establish finished grading to avoid extensive cut and fill slopes.

3. Hay Storage:

A separate hay storage shelter may be constructed, but it should have enclosed walls rather than an open pole barn with roof. Hay shelters are considered accessory buildings for design review purposes.

4. Bedding Storage:

Bedding, whether pre-packaged or bulk must be stored within a structure.

6. Manure Storage:

Temporary storage of manure must be contained in an enclosed structure. The design of any such structure must be reviewed and approved by the Design Review Board along with the required waste management plan.

7. Exterior Arenas and Corrals:

Each Homestead may have up to 1.5 acres (65,340 sq. ft.) of outdoor working arena and/or corrals located within the +/- 4 acre homestead. Corrals shall not be located within 50 feet of any creek on any parcel. These areas may be fenced with wood fencing of a style approved by the Design Review Board. Corral and arena fencing may also be constructed of other materials, for functional reasons, with the approval of the Design Review Board. Homeowners are encouraged to screen arena and corral areas from neighboring properties with landscape materials. Landscape screening must occur within the Homestead.

It is anticipated that the arena and corrals will be generally devoid of vegetation. Special soil/arena mixtures of sand, wood shavings, and/or rubber may be used within these areas. Underground drainage and/or site grading to facilitate on-grade drainage and sediment control should be incorporated in the plan. The slope of arenas and corrals should not exceed 12% in any direction. Once established, the corral area may not be relocated without the approval of the Design Review Board.

8. Equipment storage

All vehicular and farm equipment such as trailers, trucks, tractors, and implements must be stored within an approved garage when not in active use. Such garages may be free-standing or attached to other structures.

B. Equestrian Operating Plan

Prior to constructing any horse facilities on a lot, and as part of the required Design Review Board approval, an Equestrian Operating Plan must be approved for any lot where horses will be kept. This plan must address the following items:

- The proposed type, design, and location of all horse facilities, including fencing.
- The number of horses to be boarded and the duration they are to be kept.
- The proposed waste management.
- The proposed runoff management.
- The proposed feed management.
- Size and location of proposed trailer storage.
- Documentation and credentials of a caretaker to manage the horse(s).