

CROWN CANYON

Design Guidelines

The crown jewel of community living in one of the Valley's most prestigious and stunning canyon locations.

DESIGN GUIDELINES

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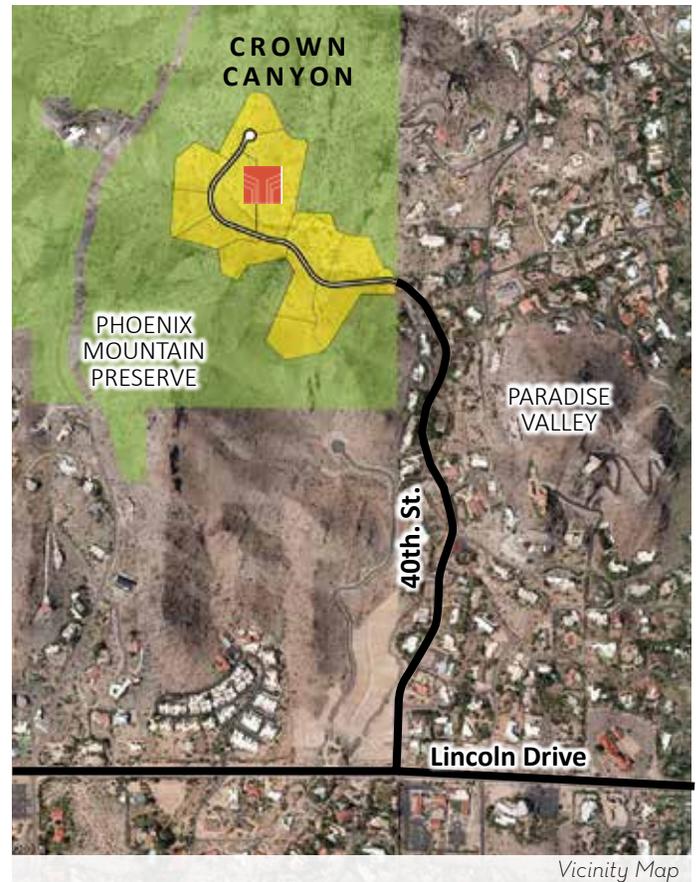
“The crown jewel of community living in one of the Valley’s most prestigious and stunning canyon locations.”

I. INTRODUCTION

The following Design Guidelines are presented to achieve the community goals and to regulate the design of all construction in Crown Canyon. The information and material contained in these Design Guidelines is delivered to each Homesite Owner for his/her guidance in developing design plans for the construction of their home. It is the responsibility of the Owner to provide his/her architect, designer or builder with this material.

A. SITE LOCATION

The Crown Canyon community enclave encompasses an area of approximately 31 acres along the southeastern boundary of the Phoenix Mountain Preserve and at the boundary of Paradise Valley, Arizona. The property is located at the northern terminus of 40th Street directly off Lincoln Drive. The Sonoran Desert terrain in this area is characterized by dramatic slopes of richly vegetated hillsides, peaks and valleys. The site area is studded with magnificent Saguaros and numerous and diverse types of desert cacti. Crown Canyon provides a one-of-a-kind setting allowing nature and design to come together in a magnificent celebration of community.



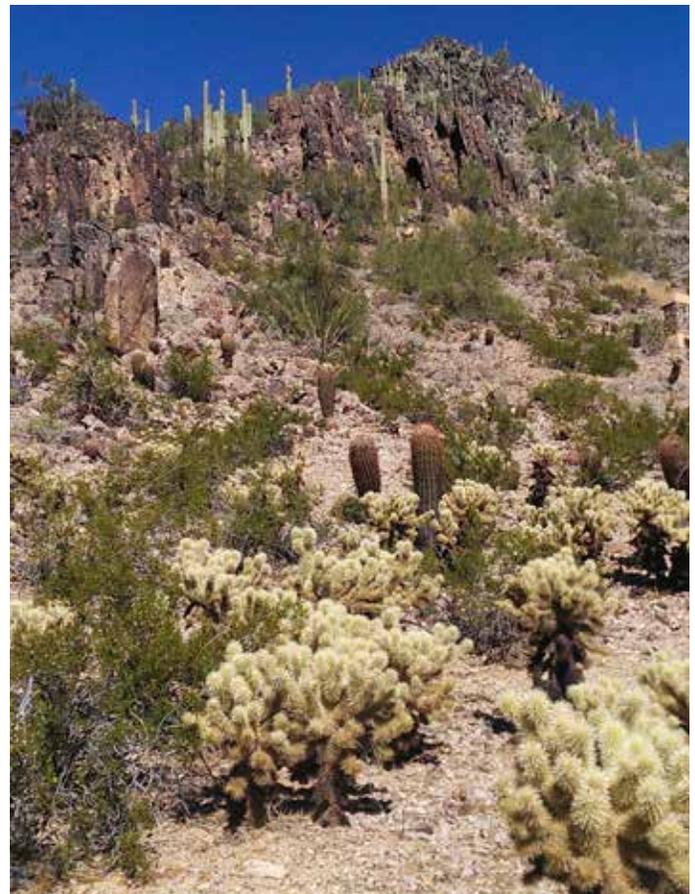
B. PHILOSOPHY OF THE DEVELOPMENT

The residential design goals for the community are:

- To enhance and protect the value, desirability and attractiveness of the entire property;
- To construct quality custom homes which are harmonious with the Sonoran Desert surroundings and with each other;
- To minimize the impact on each Homesite's views as homes are constructed within the community;
- To preserve the privacy and tranquility of the setting;
- To preserve and enhance the natural environment of the property;
- Have the design of each new home add to the overall character and quality of what makes Crown Canyon special.
- To encourage sustainable practices, including the use of on-site materials and carbon-sensitive, sustainable materials where possible.

C. HOMEOWNERS' ASSOCIATION

The Crown Canyon Homeowners' Association is a not-for-profit corporation charged with the duties and empowered with the rights set forth in the



Native landscape and rock outcroppings



40th. St.

Declaration of Covenants, Conditions and Restrictions of Whispering Canyon (aka Crown Canyon), as maybe amended, hereinafter the “CC&Rs”.

This Association is responsible for maintaining any common areas, certain easements, entry areas and the main subdivision road. In addition, the Homeowner’s Association is responsible for the execution, use, process of implementation and enforcement of these design guidelines.

D. ARCHITECTURAL REVIEW COMMITTEE

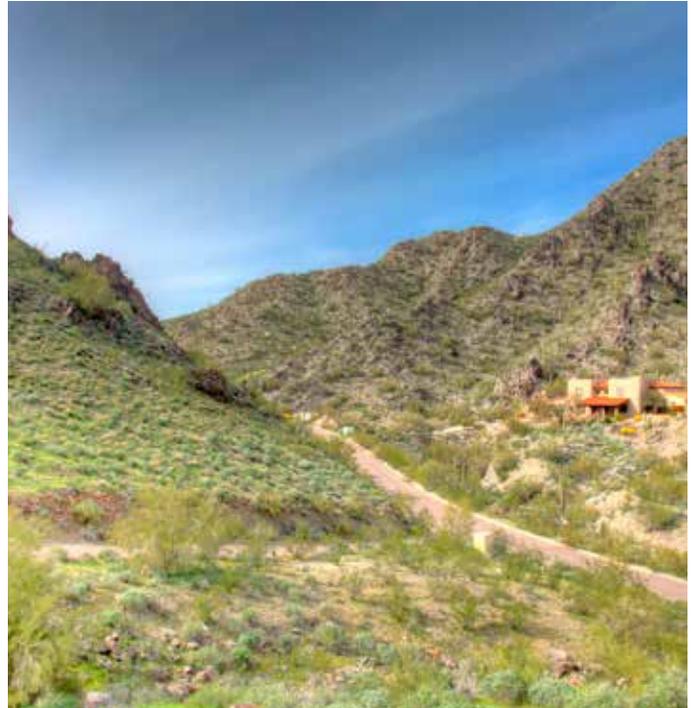
The Architectural Review Committee (“ARC”) is an entity created in accordance with the CC&Rs. The function of the ARC is to implement and manage the applicable sections of the CC&Rs, as well as to promulgate and amend these Design Guidelines, grant waivers or variances when applicable, at its sole discretion, and in general ensure that the goals of Crown Canyon are achieved from the architectural standpoint.

E. VIEW CONSIDERATIONS

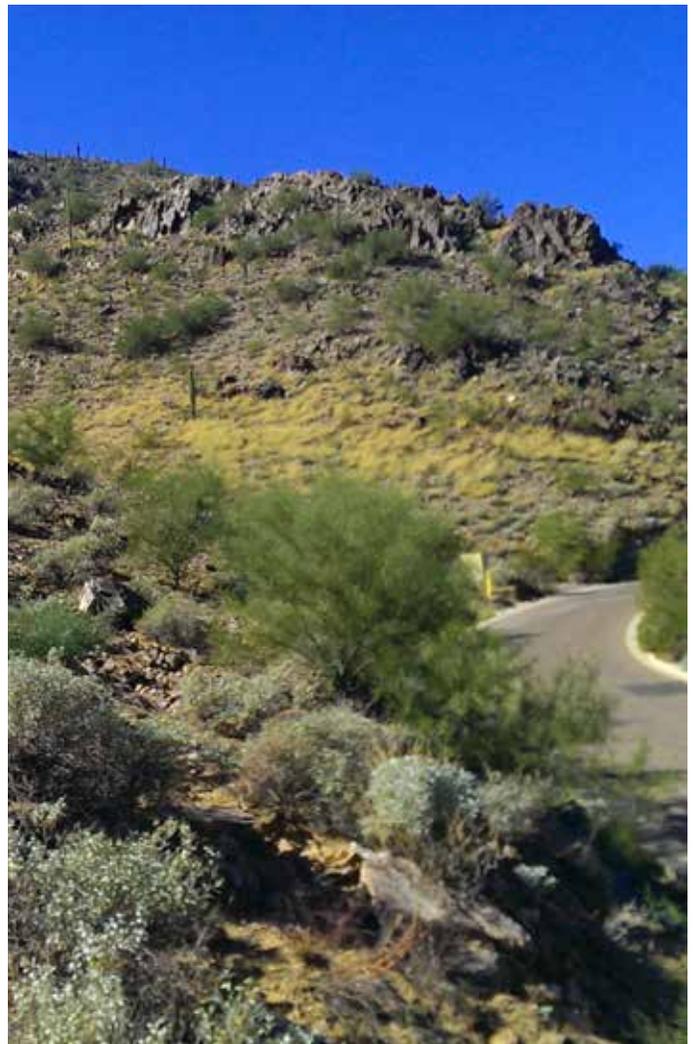
Crown Canyon provides a beautiful setting for unique home designs that can represent the very best of desert contextual architecture. A major component of any design will carefully consider the interior canyon views and vistas.

Notwithstanding the foregoing, we cannot assure that homes built within the community will not impact the views from a particular Homesite. Precautions taken by the Homesite Owner and his/ her architect/designer or builder during the planning stages can greatly assist in view selection and preservation. Crown Canyon is blessed with beautiful views in nearly all directions. It is strongly suggested that before purchasing, a prospective Owner considers adjoining parcels and their logical building sites within the established setbacks and the effect that a structure built thereon to the heights permitted will have on the prospective Homesite.

Consideration of these same factors in the design of each home will assist in the selection of views least likely to be impacted by adjacent structures; it is to these areas that the principal view of each home should be directed. With the combination of these efforts and considerations, each property should be able to avail itself of the many views offered at Crown Canyon with very pleasing and exceptional results.



View from Homesite 12 looking northwest



View from Homesite 8 looking west

F. BUILDING ENVELOPES

Because of the very sensitive nature of the site, the land and the specific residential Homesites, including the issues of views identified above, the master developer has identified a building envelope for each of the vacant homesites. These building envelopes encompass the maximum allowable developable area within which all the improvements must be located (note: this does not imply that all area within the envelope can be disturbed). The Master Developer will make available a copy of the building envelope data to the Homesite Buyer and, if requested, to his/ her architect and/ or builder. In addition to the identified building envelope, each Owner and his/ her architect and/ or builder is responsible for coordinating with and adhering to any and all relevant municipal development regulations. In addition to the building envelope data, each Homesite Buyer will be provided with a conceptual layout of potential driveway locations and alignments to access building envelopes. Driveways are not required to be within the identified building envelopes but do have very specific development regulations per the municipality.

G. SUSTAINABLE BUILDING STRATEGIES

The utilization of sustainable building practices is an approach whose relevance and importance will only continue to increase. The numerous benefits to green building are far-reaching and include environmental, economic and social impacts. In honoring the striking natural beauty of Crown Canyon, the implementation of sustainable building practices is strongly encouraged and should be considered in all phases, including site planning, architectural design, construction process planning, construction and post-construction.

Crown Canyon heartily supports the design and construction of homes in a comprehensive manner that reduces the overall impact of the built environment on human health and the natural environment by:

- Efficiently using energy, water, and other resources
- Protecting the health of residents
- Reducing waste, pollution and environmental degradation



Homesite 7 Development Data:

- Lot Size: 1.68 acres/ 73,054 sq.ft.
- Building Envelope Size: 26,826 sq.ft.
- Building Setbacks:
 - Front: 40 ft
 - Side: 30 ft
 - Rear: 40 ft

Example of typical Homesite Data



View from Homesite 6 looking south

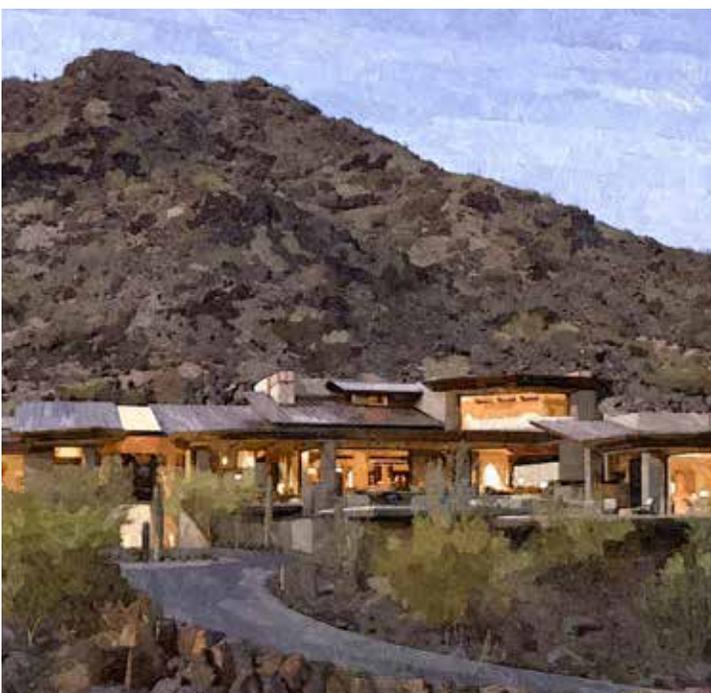
II. BUILDING DESIGN

A. ARCHITECTURE

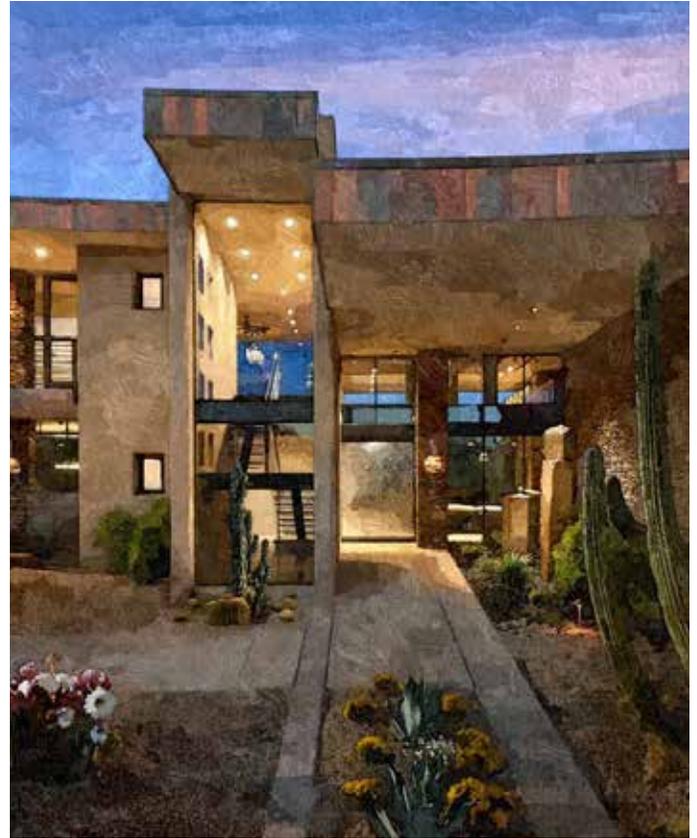
Much of the Valley architecture over the past decades has been sprinkled with styles and influences from past examples in other parts of the country and the world. Unfortunately, this trend has resulted in a significant amount of visual clutter that has very little to do with the actual experience and context of living in the desert. Too often, community development has been concerned with an expansive variety of design styles, rather than authentic desert architectural character that appropriately responds to our unique climate and setting. Crown Canyon is committed to balancing a creative spectrum of design solutions with architecture that is grounded within the context of our special desert environment.



Horizontal roof form. Residence by Spry Architecture



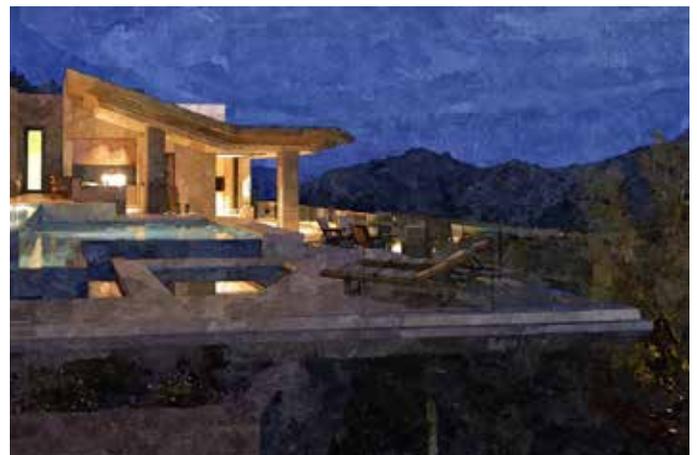
Home nestled into the hillside. Residence by Swaback Partners



Creative entry sequence. Residence by Kind Design



Fireplace tower above roofs. Residence by Swaback Partners



Cantilevered terrace and pool. Residence by Swaback Partners

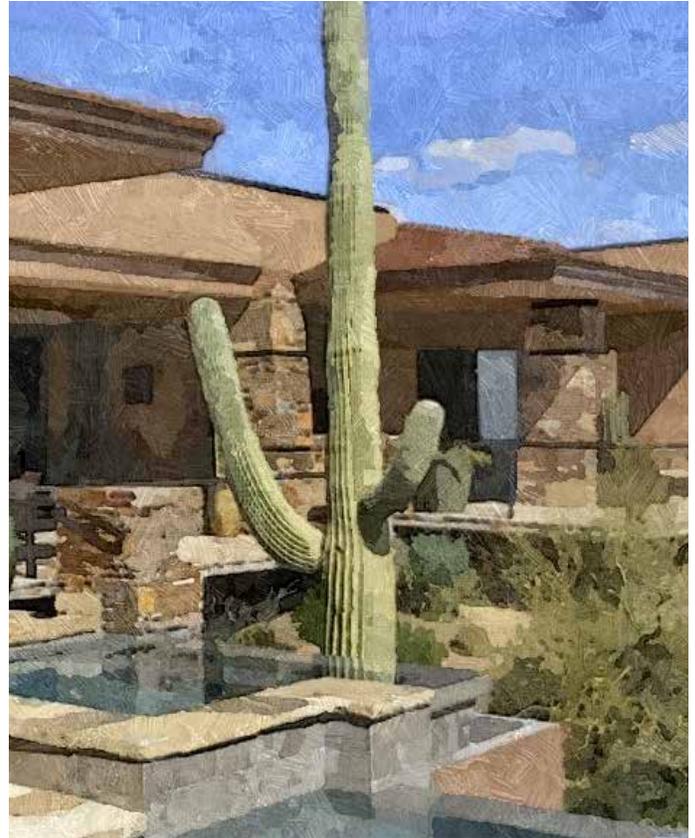


Contemporary use of textured block with glass. Residence by Swaback Partners

Southwest Contemporary is the best example of a design direction which reflects thoughtful architecture that blends past styles with contemporary treatments in the context of the Sonoran Desert. While not to be confused with desert modern, many of the characteristics of modern simplicity, with a focus on function over form, are evident in Southwest Contemporary. Southwest Contemporary is most often exemplified by the materials and finishes that look to blend with the desert setting.



Stone columns with metal beams



Stone columns, limestone flooring and metal railing



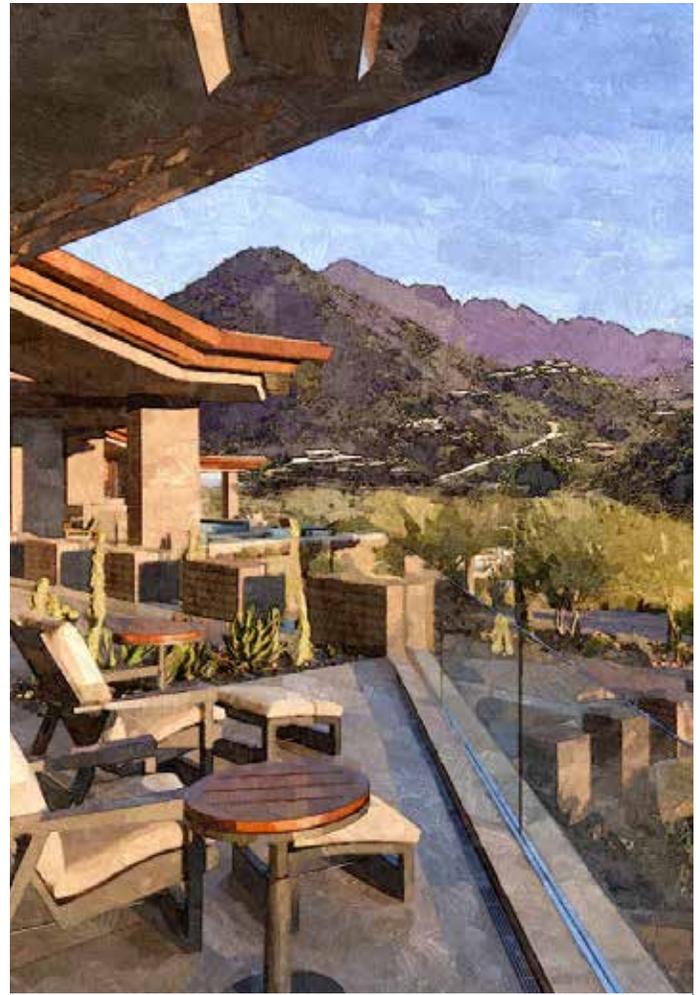
Finished concrete blocks and metal panels

Southwest Contemporary is highly sensitive to the existing vegetation, topography, landforms and climate. Southwest Contemporary typically uses large overhangs to mitigate climate and encourage outdoor living. Much of the design is focused on bringing the outdoors inside. Large expansive floor-to-ceiling glass should be the norm.

Such glass conditions are always incorporated in a very strategic manner to balance solar exposure with dramatic views. Consideration for private space relative to nighttime views into the home is also a major consideration. Newer technologies are being utilized that limit nighttime views into interior lighted spaces.



Nighttime view



Outdoor living area

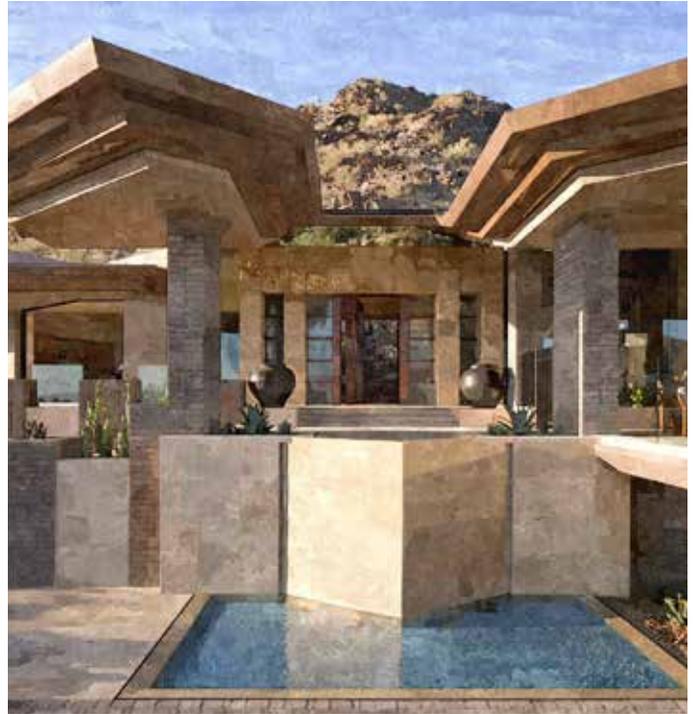


Large window panels

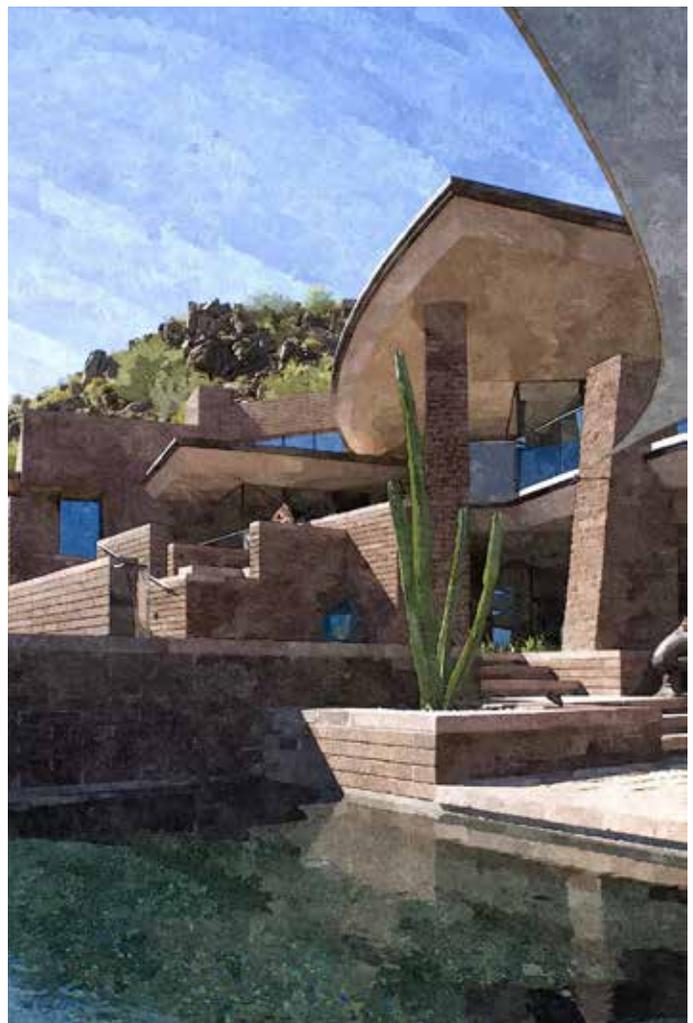
Various building materials are used including; concrete, masonry, gabions, rammed earth, metals, glass, wood and stucco. Shiny materials and bright colors should be avoided except to create a special accent that clearly contrasts the muted, more natural colors of the desert. The homes are generally angular and linear in form to mimic the sharp angles of the desert mountains, rock outcroppings and other natural sloping conditions.

Major Architectural Elements:

- Roof forms that can vary in shapes and will blend into the desert as they are exposed to weather. Roof materials and colors shall be muted in color, texture and visual character.
- Structural supports are typically square with simple designs that are large in scale and express their function.
- Exterior materials can be a wide variety of materials. The key is to have a natural, low reflective palette of materials to help the design blend into the desert. Exterior materials and finishes should have a single dominant characteristic and be complimented with secondary treatment.
- Along sloping sites, long and thin building forms should be the norm. Building overhangs should be encouraged rather than greater cuts along the up slope. This condition will likely be arranged with a main level and a lower level that access the garage and other secondary uses. In addition, second floor partial living space can add to the visual quality of the home design.



Home design with angular and linear forms



Multi-level home with cantilevered roof



Lower level garage and second floor living space



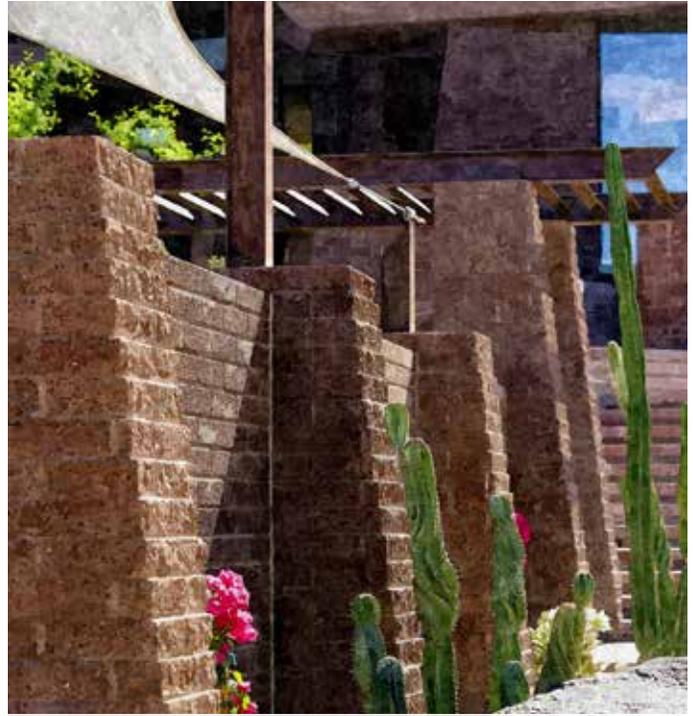
Linear roof mimics the desert mountain top



Home blends into the surrounding desert

Accents and Detail Elements:

- Windows and doors can be a variety of shapes and sizes. They should have a significant recess to give the appearance of thickness relative to wall conditions in response to the desert climate of the Southwest.
- Trim details should be simple and non-ornamental. Chimneys should also be simple in design and carefully orchestrated as part of the overall building composition and mass.
- Railings, gates, grills and fences should be designed within the character of the overall home design, rather than a typical pre-manufactured visual look or character.
- Site walls should be limited to the function of retaining, safety, security and screening. Walls should be designed within the character of the overall home and materials utilized. Screen walls should be focused on smaller, private courtyard or terrace zones and not representative of “perimeter envelope” conditions. Screen walls on the low side of a sloped site relative to the home design will be discouraged.
- Any other additive features such as antennas, skylights and/ or solar panels shall be incorporated to limit views from adjacent home owners.
- Pools and fountains should be designed to carefully integrate into the overall design and character of the home.



CMU accent columns and retaining wall



Metal fence



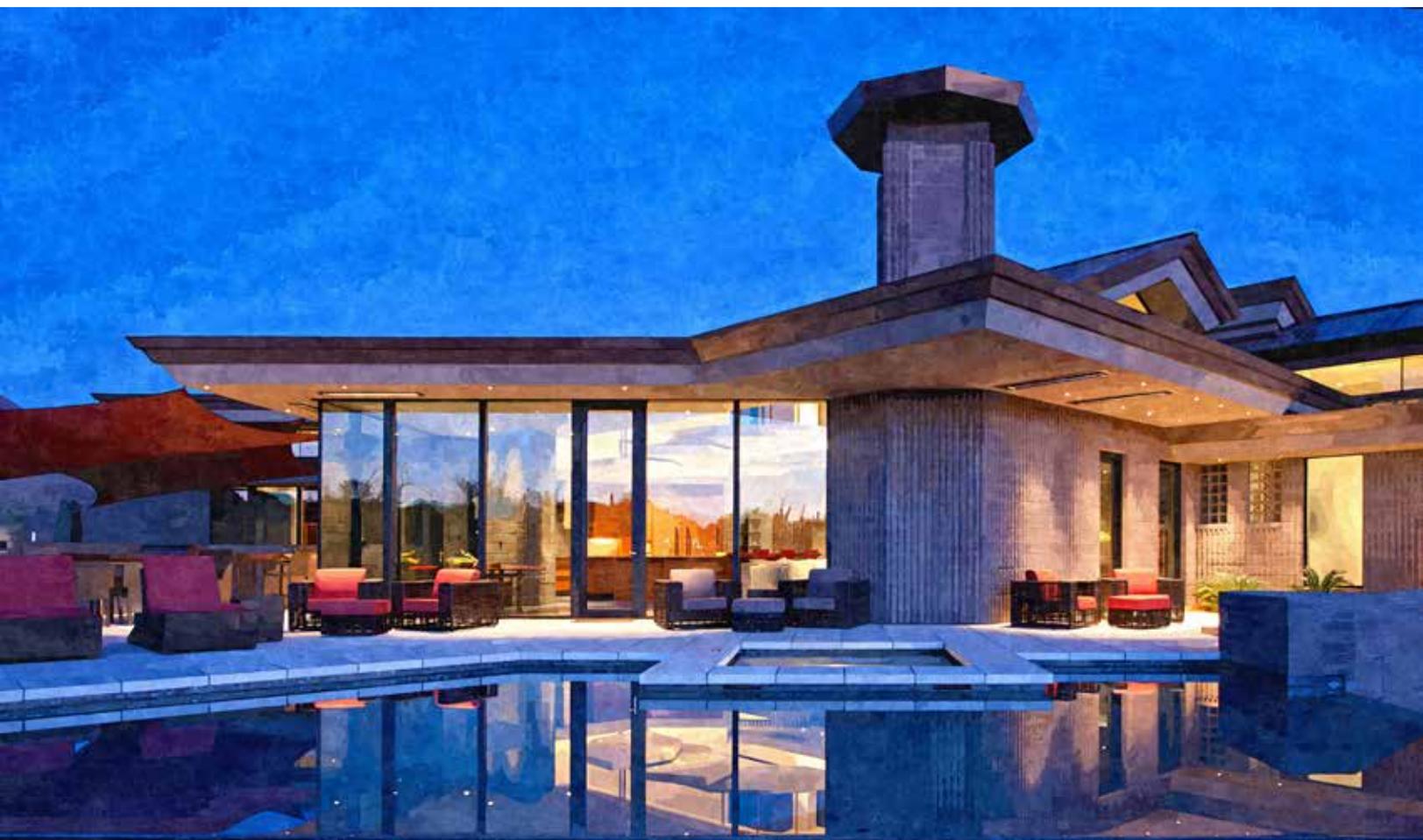
Large window panels



Interesting gate designs integrated with home



Outdoor terrace surrounded by butt glazing



Custom shaped chimney above cantilevered metal roof

B. MINIMUM HOME SIZE

Each residence shall contain not less than 4,000 square feet of living area. Based on the sloping sites, it is anticipated that homes may likely utilize multiple levels to maximize building square footage. There is no identified maximum size of any home. Maximum home size will likely be dictated by the municipal development standards related to building height, building coverage and disturbance extents. It is the responsibility of the Owner and their builder or architect to comply with all municipal development regulations during the design, permitting and construction phases.

C. CONSTRUCTION PERIOD

1) Any plans approved by the ARC (and including any municipal approvals and permits) must be implemented with the start of construction within nine months of approval. If construction has not begun within nine months, the approval given by the ARC shall be made invalid.

2) The total construction period shall not exceed eighteen (18) months from the start of construction. The construction period shall be defined as starting when the site clearing begins, and ending when the Certificate of Occupancy is obtained. Any issues with the timing of construction completion (if likely to go beyond 18 months for unforeseen issues) shall be communicated to the ARC so that new critical completion dates can be agreed upon.

3) For any set of new home construction plans carrying ARC approval, all landscaping, pools, walls and ancillary or detached structures must be completed within six months from the date when the Certificate of Occupancy is received for the home itself. If such ancillary buildings, pools, walls and landscaping are not completed by that date, their approval is invalid and it will be necessary for the homeowner to submit the plans for such remaining projects as a separate submittal with additional submittal fees due. Rules established by the ARC in the interim that may impact the resubmitted plans will control the plan's review process.

D. FOUNDATIONS AND FLOORS

Foundations and floors for all dwellings and all other permitted improvements on each Homesite shall be

constructed in accordance with plans prepared by an engineer or architect registered in the State of Arizona, per the submittal requirements of and to the municipality.

E. BUILDING MATERIALS

Masonry is the recommended building material. Approved building materials include:

- Clay brick
- Cement stucco over CMU or frame split face concrete block
- Finished concrete block
- Metal paneling
- Natural rock burnt adobe
- Colored slump block (color subject to approval by ARC)
- Wood framing



Clay brick

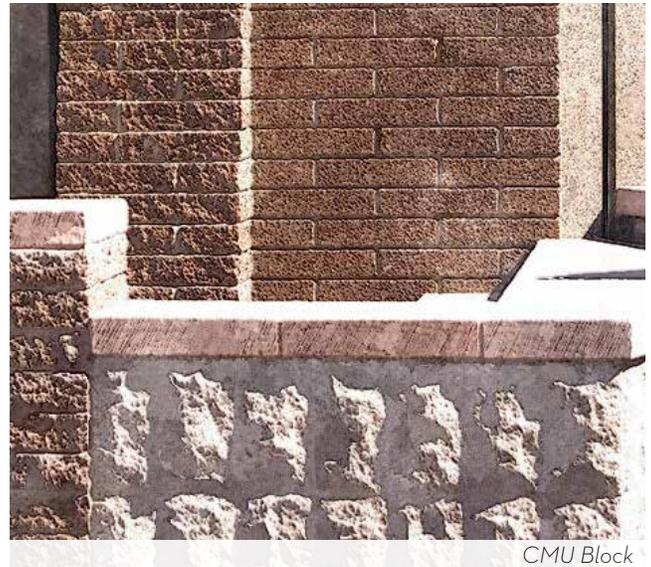


Stucco finish

F. WALLS

All patio, site and retaining walls shall be constructed of the same or coordinated materials and finish. Recommended wall materials shall conform to the recommended building materials detailed above. Wood, metal and wrought iron may be approved materials when used in combination with masonry, clay brick, stucco or other approved building materials.

Perimeter and building walls which project in a way that reveals their thickness shall terminate in a sixteen inch (16") minimum width. Long stretches of walls are to be softened with plant recesses, circular undulation and landscaping. Patio, site and retaining walls shall not exceed a maximum of six feet (6') in height without separate approval of the ARC.



CMU Block

G. ROOF MATERIALS AND COLORS

Roof materials may include:

- Painted or corrugated metal
- Copper (non-reflective)
- Other approved materials

Roof slopes shall not be less than 2:12. Asphalt shingles and gravel roofs shall not be permitted. Use of broad overhangs is encouraged. Flat roofs are permitted with minimum 1/4" per foot minimum slope and all flashing appurtenances, vents, and skylights adequately screened behind parapets of sufficient heights to do so. Projecting eaves are not less than 6" in thickness.

Gutters are of galvanized steel, copper or painted aluminum. Scuppers are integral to the architectural style of the home. Skylights are discouraged on sloped roofs, however the ARC may consider them with submission of fully detailed drawings showing location in plans and elevations.

Roof materials shall be non-reflective. Roof mounted cooling and heating units shall not be permitted. Solar panels shall be incorporated in a thoughtful manner that limits visual impact to adjacent homes. Screening of solar panels shall be integrated and in conformity with the structure and architecture of the home. Vents shall be painted the same color as the roof. The color of any flat roof shall match, as well as can be achieved, the color approved by the ARC for exterior walls of the dwelling. As with the exterior walls, the reflectivity of the roof coating shall not exceed sixty percent (60%). Desert tan color or similar is strongly encouraged. No white or near white roof will be permitted.



Metal panels



Slump block

H. EXTERIOR WALL PAINT COLORS

All exterior colors, whether a part of the original plan submittal or through subsequent desired changes in exterior home color, must be submitted in advance to the ARC. The ARC will require that the Owner provide the name of the paint manufacturer, the exact specification number and a manufacturer color chip. The ARC reserves the right to require that the Owner provide a larger surface than merely the color chip from which to judge the acceptability of a color, including the possible requirement that a large sample patch be painted on the exterior of the home for review by the ARC. Further, the Owner must provide written documentation as to the reflectivity of the paint color by the manufacturer. Reflectivity shall not exceed Sixty percent (60%). The ARC will require earthen tones on all homes built in Crown Canyon.

I. ACCESSORY BUILDINGS

All accessory buildings shall be designed to the same visual character and quality of the main residence. Storage sheds, ramadas and other accessory structures for single-family residences must be approved by the ARC, based on the above criteria.

J. DRIVEWAYS, GATES AND PARKING

Driveways shall be paved with concrete, exposed aggregate or specialty pavements, the color of which shall be subject to approval by the ARC. Other materials may be approved by the ARC. A minimum two-car garage shall be provided for each single-family residence. Adequate guest parking shall be provided on site.

Based on the nature of the Homesites and associated slopes, large, formal guest turn-arounds are discouraged. Drives should be thoughtfully located and signed to minimize impacts to the land and provide efficient access to garages and parking areas. Visitor parking should be located as a pull-off condition from the drive with a provided access route to enter the residence.

Entry gates and associated piers shall be designed within the visual context of the home in an attractive and creative fashion. Gates should be set back, not to crowd the street scene.



Concrete pavers at entry driveway



Guest parking area and entry

K. UTILITY YARDS AND SEPTIC SYSTEMS

No clotheslines, wood storage, heating or cooling equipment shall be permitted except behind walls, in enclosed yards, without view from neighboring Homesites. The design of septic systems shall be done to limit the visual "identification" of where the system and leaching field starts and stops.

L. MAILBOXES

Residents at Crown Canyon will have their mail delivered to a centralized mailbox unit conveniently located on the east side of the entry cul-de-sac.

M. ENTRANCES

The ARC must approve all driveway entrances for grading and distance and relative to identification, etc.

N. LIGHTING

The ARC shall approve the design of all exterior lighting. Exterior lighting shall be shielded by opaque canisters, boxes, deep recesses in soffits

or other forms of light wells and screens to further prevent glare or substantially diffuse glows into adjacent homesites. All exterior lighting shall conform to the municipal development regulations and the outdoor lighting design principles associated with Dark Sky setting. All exterior lights must also be located so as not to be directed toward or reflect upon surrounding properties, streets or Common Areas.

O. ANCILLARY SITE AMENITIES

There will be no tennis courts or sports courts structures allowed within the community. Informal play equipment, basketball goals or similar structures shall be portable and placed in an enclosed area when not used. Small-scale play structures can be incorporated in backyards with sensitive impact to adjoining properties.

P. MECHANICAL EQUIPMENT

All mechanical equipment and meters shall be internal or ground-mounted within enclosures that shield them from view. No satellite-type television or radio antennae, radio transmitters or receivers, weather vanes, wind socks or similar projections above the roof eave shall be permitted, unless specific written permission is granted by the ARC.

Q. GAS, TELEPHONE AND ELECTRICAL UTILITY LINES

All gas, telephone and utility lines are to be laid underground from the dwelling to the street through the use of driveways to avoid unnecessary destruction of desert flora. This will also save the Owner expense in re-vegetation of disturbed areas.

R. UTILITY METERS

All utility meters, external pool mechanical equipment and other service equipment are to be screened from view with walls matching the home, not by a landscape solution.

S. CERTIFICATE OF OCCUPANCY

Prior to the final approval of the residence by the ARC, the Owner shall submit a copy of the Final Certificate of Occupancy from the City of Phoenix.



Low level down lighting



Sconce light fixture



Low level uplighting

III. SITE PLANNING

A. GRADING

The unique character of Crown Canyon is due in part to the dramatic terrain of the site; therefore, sensitive grading strategies are extremely important to the design of every new residence. The established building envelopes have been carefully illustrated to allow for the appropriate balance between the natural desert environment and new construction. All new development must adhere to municipal development regulations. Driveways, major structures, terraces and related utility components must all be designed with a high degree of sensitivity to limit impacts to the natural environment.

The goal for Crown Canyon is that every residence “nestles” into the landscape in a thoughtful manner.

This nestling should be accomplished by the following:

- Limiting the amount of cut on the high side of sloping sites; typical hillside construction solutions that include significant cut along the high side of the slope will be discouraged. In the event that cuts along the high side of the slope are necessary, thoughtful design solutions should be incorporated such as terraced walls.
- Cantilevering the major floor plates thoughtfully over the desert slope; for Crown Canyon, the preferred strategy for development will consider the incorporation of carefully designed cantilevers which will help address the issues of impacts to the high side of slopes.
- Incorporating lower and upper-level program space with garages and secondary building uses as part of the cantilevering strategy. The most efficient design solutions will likely look to add garages at a lower level so that driveways have less impact on the land. In addition, this lower level should be designed to incorporate appropriate program spaces and elements based on the overall home design. This “stacking” strategy, along with the potential for second story program space will help to limit overall site disturbance and allow for creative and beautiful design solutions that blend in with the desert setting.
- Organizing floor plans to be long and narrow, following (parallel with) the contours of the land.



Extensive slope cut and disturbance of hillside is discouraged



Illustrative cross section of slope showing cantilevered floor

- Limit the traditional large, formal entry drop-off.
- Landscape and desert re-vegetation and restoration.

Any necessary rip-rap associated with engineering design shall be limited as much as possible. If rip-rap is necessary, it shall be hand-placed rock from the site or match the rock quality and character of the site. The use of retaining walls as part of the grading and drainage design shall be designed to complement the character of the home design. Walls are to be per municipal regulation and should

be designed to terrace back into the hillside to meet grade rather than one single, tall wall. Terracing walls should include landscape treatments that enhance the overall wall appearance.

B. NATURAL GROWTH PRESERVATION, REVEGETATION AND LANDSCAPING

Disruption and removal of existing vegetation, including Mesquite, Saguaro and Palo Verde shall be confined to the building envelopes and the areas for driveway design and grading. Municipal requirements and best practices related to plant salvage and replacement should be a major component of the overall design.

Only species native to the site shall be used for re-vegetation to areas outside of private patios and yards. All plant materials should be per the municipal standards and should be indigenous to the Sonoran Desert and this specific site. Planting design should integrate with the overall design of the site and associated site improvements, rather than appear as an afterthought.

Planting should be considered in two zones:

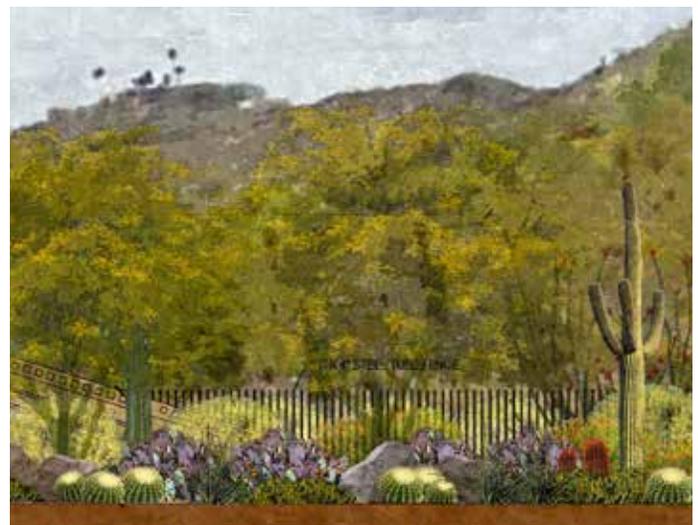
- **Natural Transition Zone;** this zone should be focused on the re-vegetation and mitigation of any disturbances around the perimeter of the construction zone so as to blend back into the natural character of the adjacent pristine desert. Careful attention should be given to the groundcover treatment which should match the natural desert floor with a variety of boulders, informal small granite/ stone and a blend of decomposed granite that looks natural in placement. Initial irrigation will be required in these areas until the plant material is established.
- **Enhanced Desert Zone;** this zone is generally located closer to the residence and includes areas in the front and back “yards”. These areas are anticipated to have a greater intensity of planting but still within the palette of native or near native varieties outlined in the plant list. Species spacing, quantities and variety will provide greater diversity of color and texture, and visual reinforcement to the relationship of the home and the indoor-outdoor living areas. Limited areas of lawn/ turf shall be allowed within terrace/ patio and yard areas.



Preserve the Sonoran Desert landscape



Natural Transition Zone



Enhanced Desert Zone

C. FINISHED GRADE (FG)

Every Homesite Owner will be provided with a plot plan of the Homesite, which shall, among other information, show the building envelopes, topography, easements, etc. (note: it is the responsibility of the Owner to prepare a detailed topographic and legal boundary survey as part of the municipal permitting and submittal requirements, as well as the review requirements of the ARC). This information is provided to assist with initial strategies for design and grading. While each building envelope and Homesite is unique, the process of design will likely begin with an analysis of existing conditions including slopes. Establishing the most appropriate finished grade for the main floor of the residence (as well as lower and upper levels) will be a critical decision that will set the stage for all else to follow. It is the responsibility of the Owner and their architect and/ or builder to understand the municipality's development regulations in order to ensure that the preferred main level finish floor elevations work within those regulations.

D. BUILDING AND STRUCTURE HEIGHTS

These Design Guidelines aim to achieve a tasteful blending of the residences to be built in unison with the unique and stunning Sonoran Desert surroundings. To this end, the ARC will not approve designs that appear overpowering or excessive in height from the street or other Homesites within Crown Canyon. The maximum building height shall be no more than 30' (thirty feet) from existing grade per municipal standards. The illustration below provides an example of the design intent of nestling the home into the hillside in a thoughtful manner within the maximum height restrictions.

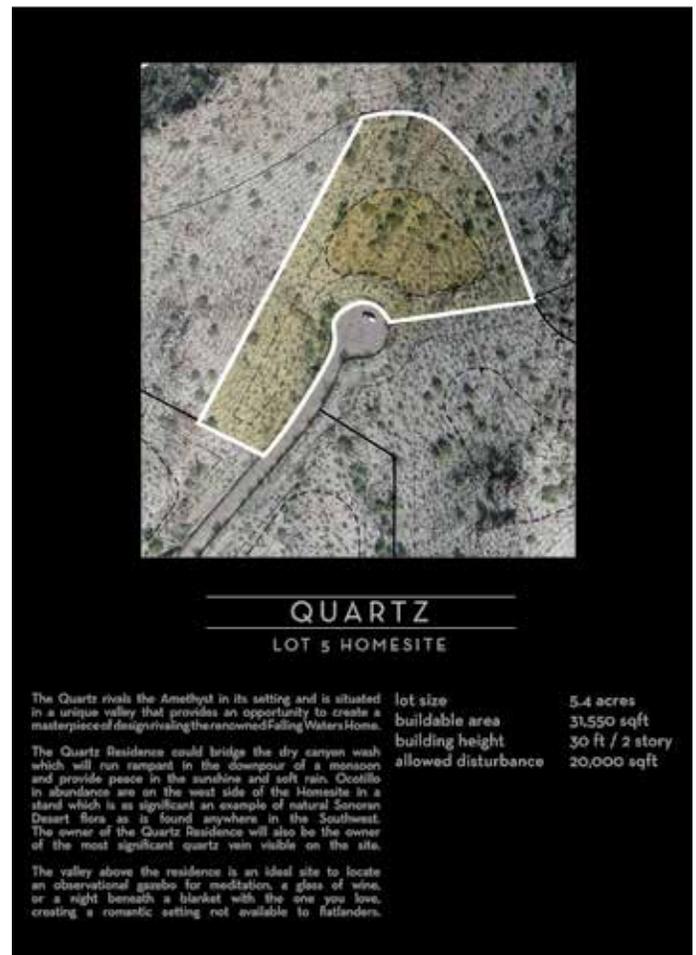


Illustrative cross section showing maximum building height

E. SETBACKS

While each Homesite has identified a series of building setbacks per the municipality's standards and regulations, the building envelopes shall be the guidelines for limits of extent for all structures and disturbance. Note, the envelope is not intended to define the maximum disturbance area within each Homesite; rather, it is the extent of location where structures are allowed on the site. The driveway and any associated walls are, however, allowed outside the building envelope. Refer to the "Homesite Sheets" provided by the Master Developer for information relative to a specific Homesite:

- Homesite location within the context of Crown Canyon
- Total Homesite area (size)
- Building envelope extents and area (size)
- Suggested driveway location
- Photographs to and from the Homesite from the street



Example of Lot Sheet

IV. PLAN REVIEW PROCESS AND REQUIREMENTS

There are five stages in the Crown Canyon approval process relative to the ARC (note: it is the Owner's responsibility (in association with his/ her architect and/ or contractor) to coordinate and submit for all related municipal permits and approvals):

- STAGE 1.** Pre-Design Orientation (3 weeks)
- STAGE 2.** Preliminary Plan Review and Approval (2-3 weeks)
- STAGE 3.** Construction Plans Review and Approval (3-4 weeks)
- STAGE 4.** Site Staking Review and Approval (1 day)
- STAGE 5.** Final Review and Approval (2 weeks)

These stages are progressive and are intended to assure compliance with the Crown Canyon Architectural Review requirements.

Approval of each stage will be given by a written endorsement by the ARC based upon the specific submittal provided by the applicant. It is the applicant's responsibility to see that all drawings, information, materials, etc., that constitute a specific submittal are received by the ARC in adequate time to allow for proper consideration and review.

No construction shall be allowed to commence on the site until the first three stages of the approval process are completed, and the Authorization to Start Construction has been issued. The fifth stage is a post-construction review and approval prior to occupancy. Please refer to Paragraph V below for information about the required submittal fees. In order to assist applicants in preparation of specific submittals, the ARC has established a series of minimum submittal requirements for each stage of the approval process. Any additional information that can be provided to clarify, illustrate or otherwise aid the ARC in this review process is encouraged and always appreciated.

The ARC strongly encourages Owners to obtain ARC's Preliminary Plan Approval prior to municipality submittal, in order to avoid unnecessary re-submittals to the City of Phoenix.

All submittals to the ARC should consist of three sets of drawings and accompanying documentation. Two sets of drawings will be retained by the ARC and one set of approved drawings shall be returned to the Owner.



Design Review

STAGE 1. PRE-DESIGN ORIENTATION

This phase starts the process of residence design at Crown Canyon. The Owner or the Owner's representative will meet with a representative of the ARC. The intent is to familiarize the Owner with the Design Guidelines, the Building Envelope and any conditions that are specific to the particular Homesite. This phase should occur before any designs or plans are prepared.

After the meeting described above and upon receipt of the applicable Design Review Fee and a letter from the Owner authorizing any representative to act on behalf of the Owner in all matters related to the Design Guidelines and the design review process, the ARC will issue a letter authorizing the Owner to proceed with Stage 2 of the process.

STAGE 2. PRELIMINARY PLAN REVIEW AND APPROVAL

Plans submitted shall meet, include or reflect the following minimum requirements; all of the information detailed below shall be shown and labeled clearly:

A. Site Plans

- 1) Drawn to scale at minimum of one inch equals twenty feet.
- 2) Property lines indicated and setbacks dimensioned.
- 3) Indicate the Building Envelope.
- 4) Location of structure on site, including out-buildings, if any.
- 5) Diagram showing calculations relative to coverage and disturbance.
- 6) Finished Floor Elevation(s) of the structure(s) with values stated.
- 7) Locations, elevation call-outs and material specifications of related improvements of driveways, patios, septic systems, leach field, etc.
- 8) Locations, material specifications, and top-of-wall elevations of all proposed patio walls, retaining walls, etc.
- 9) Master grading plan indicating existing and proposed topographic contours, drainage patterns, and proposed perimeter grading limits.
- 10) Location and proposed alignment of underground utility service lines.
- 11) Location of all utility yard enclosures and mechanical equipment enclosure (including pool equipment, if any).
- 12) All septic design should be thoughtfully incorporated into the overall parcel development with appropriate design treatments to minimize visual impacts.

B. Floor Plans

- 1) Drawn to scale at one-quarter inch equals one foot (Preliminary Plan may be at 1/8" scale).
- 2) Finished Floor Elevation(s).
- 3) Major rooms labeled.
- 4) Enclosed living-area square-footage totals noted.
- 5) Locations of all utility yard enclosures with all utility meters and other provisions labeled.

- 6) Locations of all mechanical equipment (condensers, etc.) and the resulting enclosures.
- 7) A site section identifying existing grades, proposed grades, building mass and maximum building height identified.

NOTE: If exceptions to municipal standards are anticipated, indicate so on the plans by shading the areas subject to the exception, indicating the square footage of such areas.

C. Elevations

- 1) Drawn to scale at one-quarter inch equals one foot (Preliminary Plan may be at 1/8" scale).
- 2) All exterior building elevations shall be represented.
- 3) Existing contour grades and proposed finished contour grades.
- 4) Finished Floor Elevations lines.
- 5) Top-of-wall and top-of-roof elevation call-outs or dimensions for all building components.
- 6) All exterior materials shall be specified.
- 7) Exterior material colors/samples to be provided (required on Construction Plan Review only).

STAGE 3. CONSTRUCTION PLANS REVIEW AND APPROVAL

This submittal process consists of a full set of Construction Drawings, Plans and Specifications in sufficient detail for municipality review and approval. It should include all the plans and drawings required on Stage 1, as well as the following:

D. Landscaping Plans

- 1) Master site plan drawn to scale at minimum one inch equals twenty feet.
- 2) Specific area plans (if needed) drawn to scale at minimum 1/8" equals one foot.
- 3) Master site plan should reflect all existing major desert growth removed by construction or that is within twenty feet (20') of proposed improvements.
- 4) Landscaping plans should outline and detail specific treatments of re-vegetation and new supplemental vegetation of all exterior areas

(not enclosed by patio walls, etc.)

- 5) Landscaping plans for areas enclosed by patio walls shall be submitted at the applicant's option at this time, additional review fee to be applied if submitted at a later date.
- 6) Any tree over fifteen feet (15') in height must be highlighted to the Committee for express approval.
- 7) The location and specifications of all exterior lighting.

The Review is design-related and the ARC takes no responsibility or liability relative to actual construction.

STAGE 4. SITE STAKING REVIEW AND APPROVAL

No construction shall commence without applicable approvals from the municipality. This stage shall meet, include or reflect the following minimum requirements:

- Physical staking of structure corners, performed by a certified, licensed surveyor, referencing benchmarks.
- All staking must reflect structure location and layout as previously submitted in graphic plan form only. No "field adjustment" of structure layout will be allowed without submission of a revised site plan for review and approval.
- The ARC reserves the right to determine on a Homesite by Homesite basis.
- If additional staking of improvements and/or erection of building height poles is required from the Owner.

STAGE 5. FINAL REVIEW AND APPROVAL

This stage shall consist of the following:

- Applicant shall notify the ARC in writing of their request for final approval prior to occupancy.
- Applicant shall submit a copy of the Final Certificate of Occupancy issued by the City of Phoenix (Building Permit with final inspections noted).

The ARC will complete a final inspection, and promptly notify Owner of approval in writing. Within thirty (30) days, the Owner will receive a refund of the Compliance Deposit, or any part thereof.

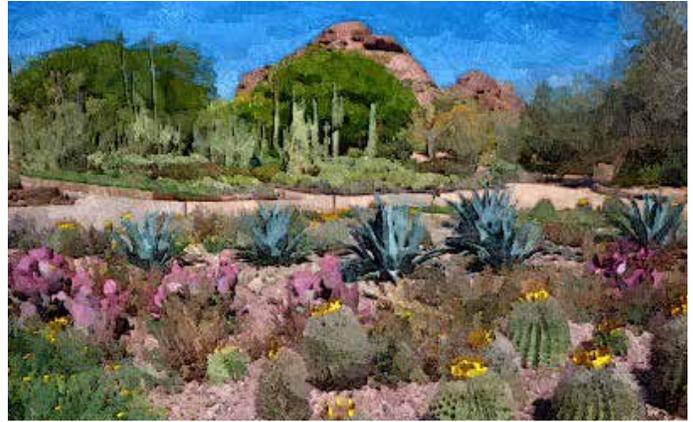
V. PLAN SUBMITTAL FEES

- 1) The submittal of plans for a new home, including plans for landscaping, any ancillary structures, walls and pools will require a Plan Submittal Fee of \$6,500.00. The Plan Submittal Fee is payable with the Preliminary Plan Review submission.
- 2) The Compliance Deposit of \$3,500.00 is a refundable security deposit. It is payable before any disturbance occurs at the site and is a condition for the issuance of the Authorization to Start Construction. No construction equipment and/or personnel will be allowed access until the Compliance Deposit is received.
- 3) If submitted separately from plans for the home, or if construction occurs six months or later after the Final Certificate of Occupancy is received on the home, a landscaping plan shall require a plan submittal fee equal to twenty percent (20%) of the charge for a new home submittal. Any such landscaping plans may include structures that do not exceed the height of existing patio walls.
- 4) The construction of a home addition, garage, guest house, ramada, or any other structure where one or more solid walls are erected above the height of a pre-existing patio wall and/or with greater than one hundred square feet (100 sq.ft.) in area will require the same level of review as was applied to plans submitted for home. As a consequence, a plan submittal fee of \$350.00 will be required.
- 5) Plan revisions and/or additional submittals made after the Construction Plan Approval process and prior to the Final Certificate of Occupancy require a plan change submittal fee of \$500.00.
- 6) Any request for waivers or variances shall require an additional fee of fifty percent (50%) of the charge for a new residence submittal. Payment of the fee is a prerequisite for the waiver or variance to be reviewed, however, such payment does not guarantee such request will be

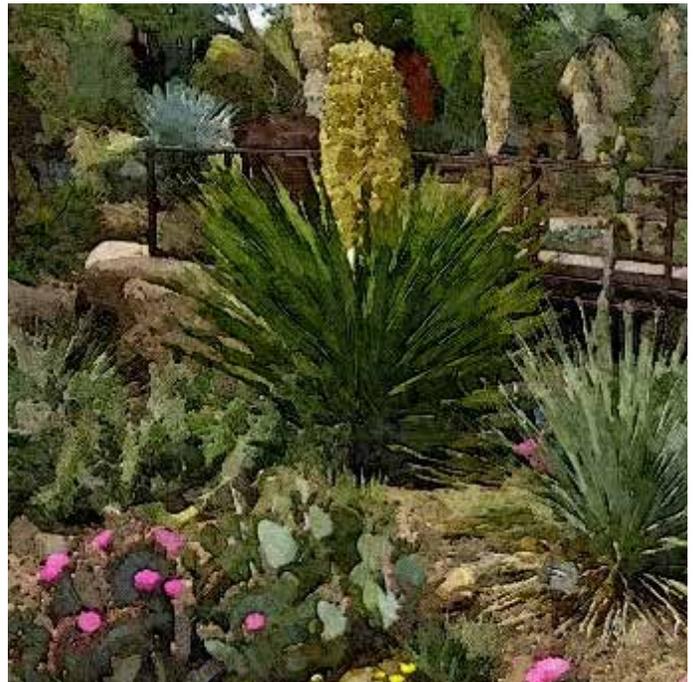
granted. The ARC at its sole discretion may deny such requests. Also, note, the approval of such requested waiver or variance from these Design Guidelines does not guarantee the Applicant’s request relative to the municipality’s development requirements.

VI. APPROVED PLANT LIST

All plant material shall be per the municipality’s development regulations and shall be indigenous to the Sonoran Desert and the local micro-climate within Crown Canyon. The goal for all landscape design initiatives should be to first blend any disturbance areas with the natural and native desert setting. Secondly, more private areas of the residence shall exhibit the same plant palette, but in a more celebrated manner with closer spacing, more varied species and larger plant sizes. Plants not listed will be reviewed on a case by case basis.



Drought tolerant plants



Low water use plants



Plants with seasonal interest



Plant material scale, color and texture



Native plants of the Sonoran desert and Crown Canyon

BOTANICAL NAME	COMMON NAME	Landscape Zones	
		Natural Transition	Enhanced Desert
TREES			
Acacia greggii	Cat Claw	X	X
Acacia smallii	Sweet acacia		X
Cercidium x 'Desert Museum'	Desert Museum Palo Verde	X	X
Cercidium floridum	Blue Palo Verde	X	X
Cercidium microphyllum	Foothill Palo Verde	X	X
Chilopsis linearis	Desert Willow		X
Olneya tesota	Ironwood	X	X
Prosopis velutina	Velvet Mesquite	X	X
Sophora secundiflora	Texas Mountain Laurel		X
Vitex agnus-castus	Chaste tree		X
CACTI/ ACCENTS			
Agave deserti	Desert Agave	X	X
Agave murpheyi	Murphey's		X
Agave palmeri	Palmer's Agave		X
Agavi parryi	Parry's Agave		X
Aloe species	Aloe		X
Carnegiea gigantea	Saguaro	X	X
Cylindropuntia acanthocarpa	Buck horn Cholla	X	X
Dasyliirion wheeleri	Desert Spoon		X
Echinocereus engelmannii	Hedgehog Cactus	X	X
Ferocactus acanthodes	Fire Barrel	X	X
Ferocactus wislizeni	Fishhook Barrel	X	X
Fouquieria splendens	Ocotillo	X	X
Hesperaloe parvifolia	Red Yucca		X
Mammillaria microcarpa	Fishhook Cactus	X	X
Opuntia bigelovii	Teddybear Cholla	X	X
Opuntia engelmannii	Engelmann's Prickly-pear	X	X
Opuntia fulgida	Chainfruit Cholla		X
Opuntia leptocaulis	Desert Christmas Cholla		X
Opuntia phaeacantha	Sprawling Prickly-pear		X
Opuntia versicolor	Staghorn Cholla		X
Opuntia violacea 'Santa Rita'	Purple Prickly-pear	X	X
Pachycereus marginatus	Mexican Fence Post		X
Yucca baccata	Banana Yucca		X
Yucca elata	Soaptree Yucca		X
SHRUBS			
Abutilon palmeri	Indian Mallow		X
Ambrosia deltoidea	Bursage		X
Anisacanthus thurberi	Desert Honeysuckle		X
Atriplex canescens	Fourwing Saltbush		X
Atriplex lentiformis	Quailbush		X

BOTANICAL NAME	COMMON NAME	Landscape Zones	
		Natural Transition	Enhanced Desert
SHRUBS CONT.			
<i>Atriplex polycarpa</i>	Desert Saltbush		X
<i>Bougainvillea</i> 'Barbara Karst'	Bougainvillea		X
<i>Buddleia marrubifolia</i>	Butterfly bush		X
<i>Calliandra eriophylla</i>	Fairy Duster		X
<i>Cassia memophila</i>	Desert Cassia		X
<i>Cassia oligophylla</i>	Outback Cassia		X
<i>Cercis occidentalis</i>	Western Redbud		X
<i>Cercocarpus betuloides</i>	Mountain Mohogany		X
<i>Chrysothamnus nauseosus</i>	Rabbitbrush		X
<i>Datura wrightii</i>	Sacred Datura		X
<i>Dodonaea viscosa</i>	Hopbush		X
<i>Encelia farinosa</i>	Brittlebush	X	X
<i>Ephedra trifurca</i>	Mormon Tea		X
<i>Ericameria laricifolia</i>	Turpentine Bush		X
<i>Eriogonum fasciculatum</i>	Buckwheat		X
<i>Gutierrezia sarothrae</i>	Snakeweed		X
<i>Hyptis emoryi</i>	Desert Lavender		X
<i>Justicia californica</i>	Chuparosa		X
<i>Larrea tridentata</i>	Creosote Bush	X	X
<i>Lycium fremontii</i>	Fremont Wolfberry		X
<i>Ruellia peninsularis</i>	Desert Ruellia		X
<i>Salvia clevelandii</i>	Chaparral Sage		X
<i>Salvia greggii</i>	Autumn Sage		X
<i>Senna wislizeni</i>	Canyon Senna		X
<i>Simmondsia chinensis</i>	Jojoba		X
<i>Sophora secundiflora</i>	Texas Mountain Laurel		X
<i>Tecoma stans</i>	Yellowbells		X
<i>Trixis californica</i>	Trixis		X
<i>Vaquelinia californica</i>	Arizona Rosewood		X
<i>Viguiera deltoidea</i>	Goldeneye		X
GROUNDCOVERS			
<i>Acacia redolens</i>	Prostrate Acacia		X
<i>Baccharis centennial</i>	Dwarf Coyote Bush		X
<i>Baileya multiradiata</i>	Desert marigold		X
<i>Dalea capitata</i> 'Sierra Gold'	Sierra Gold Dalea		X
<i>Lantana montevidensis</i>	Trailing Lantana		X
<i>Melampodium leucanthum</i>	Blackfoot Daisy		X
<i>Oenothera caespitosa</i>	Evening primrose		X
<i>Penstemon parryi</i>	Parry's Penstemon		X
<i>Penstemon pseudopectabilis</i>	Desert Penstemon		X
<i>Penstemon eatonii</i>	Firecracker penstemon		X
<i>Teucrium chamaedrys</i> 'prostratum'	Trailing Germander		X
<i>Verbena gooddingii</i>	Goodding's Verbena		X
<i>Zinnia acerosa</i>	Desert Zinnia		X

VII. CONSTRUCTION OPERATION, RULES AND REGULATIONS

Crown Canyon is a private community with rules and regulations established by the Homeowners' Association. Verified infractions of these rules and regulations by contractors or subcontractors will result in loss of access to the community.

- 1) Each contractor must provide a complete list of all subcontractors (and continue to update this list as work progresses) to the Homeowners' Association.
- 2) Construction personnel will receive from the Association an access number that will be valid for the term of his/her engagement at Crown Canyon.
- 3) Parking is limited to one side of the street only, as determined by the contractor and approved by the ARC. No parking is permitted within twenty feet (20') of a resident's driveway. No parking is permitted off subdivision roadways, unless on construction site areas approved by the ARC for clearing and construction.
- 4) Construction and related deliveries are permitted Monday through Saturday. No construction is permitted on Sundays or major holidays. Contractors, Architects, Designers, Builders and Engineers will be permitted access for meetings on Sundays, but no construction equipment or deliveries will be permitted. Crown Canyon recognizes the following major holidays as a non-work schedule: New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving and Christmas Day.
- 5) Construction work hours are 7:00 a.m. to 6:00 p.m. from November through March, and 6:00 a.m. to 7:00 p.m. from April through October (Monday through Saturday).
- 6) The speed limit under normal conditions for workers should not go beyond 15 m.p.h.
- 7) Upon entry into and exit from Crown Canyon, all traffic signs must be observed along the extent of 40th Street with great consideration to neighboring developments.
- 8) Within Crown Canyon, counter-clockwise traffic flow must be observed at the terminal cul-de-sac. Contractor suppliers and personnel may not use private driveways as turnarounds.
- 9) Radios and electronic devices are not to be played on the exterior of a building structure or at any volume objectionable to the surrounding residents.
- 10) Car or truck telephones are not permitted to "ring" by blowing the vehicle's horn.
- 11) Erosion during construction from unpaved construction drives or cleared areas, spillage from trucks and equipment and tracking by vehicles onto paved streets or private property is not allowed. Timely clean-up is the responsibility of the Owner's contractor on a daily basis.
- 12) During the construction phase, storage of equipment and/or material and the installations of security fencing shall be confined to the disturbance area limits. Common Areas owned by the Homeowners' Association may not be used for this purpose.
- 13) Portable restroom facilities are to be located on the property under construction in the least conspicuous manner possible.
- 14) No dogs or pets shall be allowed on the jobsites.
- 15) Builders and Owners shall jointly assure that the "Construction Operation, Rules and Regulations" governing all Crown Canyon construction are enforced.

CROWN CANYON, LLC

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