

John Currie, *Chairman*  
Vicky Gannon  
Nancy Gerbino  
Eugene Goldenberg  
Dennis McNamara  
Bruce Prince  
Christopher Zaberto

PLANNING BOARD

*Town of Somers*

WESTCHESTER COUNTY, N.Y.

TOWN HOUSE  
335 ROUTE 202  
SOMERS, NY 10589  
TEL (914) 277-5366  
FAX (914) 277-4093  
EMAIL:  
PLANNINGBOARD@SOMERSNY.COM



**SOMERS PLANNING BOARD AGENDA  
AUGUST 14, 2019  
7:30PM**

**MINUTES:** Consideration for approval of Draft minutes of May 8, 2019.

**PUBLIC HEARING:**

**1. STEVE WILKINSON & BRENDA JONES WETLAND PERMIT:  
TM: 28.05-1-7**

Application for a Wetland Permit by Steve Wilkinson & Brenda Jones for an expansion and renovation of existing residence and construction of a curtain drain. The property is located on the west side of Anarock Drive and is located in an R-40 zoning District.

**PROJECT REVIEW:**

**2. COBBLING ROCK ESTATES: TM: 37.19-1-1**

Application for a proposed 9 lot Preliminary Subdivision Approval, Steep Slope Protection, Stormwater Management and Erosion and Sediment Control, and Tree Removal Permits and construction of two (2) town roads. The property is located south of Cobbling Rock Drive and Dr. Tony's Road and is located in an R120 Zoning District.

The next meeting of the Somers Planning Board is September 11, 2019

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SOMERS PLANNING BOARD MINUTES  
May 8, 2019

2  
3  
4 **ROLL:**

5  
6 **PLANNING BOARD**

7 **MEMBERS PRESENT:**

Chairman Currie, Mr. Zaberto, Mr. Prince, Mr.  
8 Goldenberg, Ms. Gerbino, Mr. McNamara and  
9 Ms. Gannon.

10  
11 **ABSENT:**

Town Attorney, Joseph Eriole

12  
13 **ALSO PRESENT:**

Director of Planning Syrette Dym,  
14 Consulting Town Engineer Joseph Barbagallo  
15 and Planning Board Secretary Barbara J. Sherry  
16

17 The meeting commenced at 7:30pm. Planning Board Secretary Barbara J. Sherry  
18 called the roll and noted that the required quorum of four members was present in  
19 order to conduct the business of the Board.  
20

21 **XENIA STEPHENS SUBDIVIION: TM: 28.07-1-1**

22  
23 Chairman Currie stated this is the seventh (7<sup>th</sup>) 90-day time extension request of  
24 the Conditional Final Subdivision Approval and Stormwater Management and  
25 Erosion and Sediment Control Permit from June 11, 2019 up to and including  
26 September 9, 2019 in accordance with §150-13M of the Code of the Town of  
27 Somers. The property is located at the corner of Routes 100 & 138 and is in an R80  
28 Zoning District.  
29

30 Chairman Currie added the Board is in receipt from two (2) letters; one (1) from  
31 Director of Planning Dym and another from Bibbo Associates.  
32

33 Chairman Currie asked Director of Planning Dym if she had any objections to the  
34 granting of this request. Director of Planning Dym stated no.

35

36 Chairman Currie asked if there were any Board member comments.

37

38 Ms. Gerbino stated she wanted to remind everyone that historically this property  
39 contains the barn that housed the original elephant circa 1815. She added the  
40 elephant was bought in 1808 and she believes his demise was in 1815. Ms.  
41 Gerbino noted how historic this property is and that the barn still exists.

42

43 Mr. Prince asked why this is taking almost two (2) years.

44

45 Director of Planning Dym stated according to the letter from Bibbo Associates,  
46 Mrs. Stevens has hired a new surveyor for the final plat and they will proceed with  
47 the filing as soon as it is signed by the Westchester County Health Department.

48

49 Mr. McNamara stated there was a change with the surveyor due to the passing of  
50 the original surveyor.

51

52 On a motion by Chairman Currie, seconded by Ms. Gannon and unanimously  
53 approved, the Board moved to grant the seventh (7<sup>th</sup>) 90-day time extension request  
54 of the Conditional Final Subdivision Approval and Stormwater Management and  
55 Erosion and Sediment Control Permit from June 11, 2019 up to and including  
56 September 9, 2019 in accordance with §150-13M of the Code of the Town of  
57 Somers. The property is located at the corner of Routes 100 and 138 and is in an  
58 R80 Zoning District.

59

60 **NORTH COUNTY HOMES – CARDINAL WAY: TM: 16.17-2-7&4**

61

62 Mr. Joseph Festo, developer, approached the Board and stated he is in attendance  
63 for the final resolution for Cardinal Way.

64

65 Chairman Currie stated he received a text message from Consulting Town  
66 Engineer (CTE) Joseph Barbagallo stating he may be late but if the Board is so  
67 inclined he has no problem with the few remaining items and to direct staff to do a  
68 resolution, but first we have to do a Negative Declaration (Neg. Dec).

69

70 Director of Planning Dym stated the Negative Declaration is not prepared.

71

72 Chairman Currie stated that the Negative Declaration and Resolution can be done  
73 at the next meeting. There are a few outstanding items and they may be cleaned up  
74 by that time. According to CTE Barbagallo they are minor and he does not have a  
75 problem with this.

76

77 Ms. Gerbino asked how many trees there are and when is it ok for the trees to  
78 come down.

79

80 Mr. Festo stated there are thirty-seven (37) trees.

81

82 Director of Planning Dym stated when she prepares the Negative Declaration she  
83 will look at the Environmental Assessment Form (EAF) to see what it says about  
84 that.

85

86 Mr. McNamara asked if that is only when there is evidence of Bat inhabitation.

87

88 Director of Planning Dym stated yes, and that is why she has to look at the EAF  
89 and that will be done in conjunction with the Negative Declaration.

90

91 Ms. Gerbino stated she is not pushing to save the bats, but is concerned about  
92 when it applies and when it does not apply.

93

94 Director of Planning Dym stated when you do the EAF, the Environmental  
95 Mapper, which is on the New York State Department of Environmental  
96 Conservation (NYSDEC) SEQRA website, it comes up with items that identifies  
97 that there is a potential for rare and endangered species.

98

99 Ms. Gerbino stated so they do it.

100

101 Director of Planning Dym stated that is the one thing that always, if it is subject to  
102 that, comes up from NYS DEC on the Environmental Mapper and then we can  
103 check out what exactly it is. Typically in this area it is the Northern Eared Bats.

104

105 Ms. Gerbino stated she knew the background, she was just curious, she does not  
106 want to impede their progress.

107

108 Director of Planning Dym stated there is a period of March to October when the  
109 trees can be removed.

110

111 Chairman Currie added there was a project on Route 6 and they had to clear the  
112 trees during that time also.

113  
114 Ms. Gerbino asked if this impacts homeowners also, if she were to call a local tree  
115 company to have some trees removed.

116  
117 Director of Planning Dym stated it would not affect that, as they are not subject to  
118 the SEQRA process.

119  
120 Mr. Zaberto stated the Site Plan for the tree removal was unclear as to whether  
121 certain species were to be removed and then replanted. One of the committees in  
122 Town has asked for clarification. If you cannot clarify now that is understandable,  
123 however they recommend that if you do plant replacement trees from what you  
124 have cut, that they be native to the area and not something imported from another  
125 country or another part of the United States. They would like to keep the  
126 indigenous species native to the area.

127  
128 Chairman Currie asked Director of Planning Dym for assistance about waiving of  
129 the Public Hearing.

130  
131 Director of Planning Dym stated the section of the subdivision law that allows this,  
132 does not allow or require a Public Hearing for the Final Subdivision Approval. It  
133 states, if it is less than six (6) months from the Approval of the Preliminary  
134 Approval, the Code says there shall be no Public Hearing.

135  
136 She added there are a couple of things that were put into a memo and Mr. Jack  
137 Karrell, PE, should know what to do; fix the Zoning Table and the one thing the  
138 Board should take a look at is a lot of the conifers along the boundary line that are  
139 going to be removed, a large portion of that boundary line is actually between the  
140 property line and the applicants own property, but some of them are between the  
141 property and the neighbor's property. The Board should determine whether or not  
142 the applicant needs to replace some of those between the proposed development  
143 and the neighboring property. This is something the Board should make a decision  
144 on.

145  
146 Chairman Currie asked Mr. Festo if he has any plans about the trees.

147  
148 Mr. Festo stated he believes that the ones by his neighbor's property line may be  
149 staying and some along his property line may be removed, where the property line  
150 comes up and joins his neighbors.

151 Director of Planning Dym stated that is not the case looking at the plan.

152

153 Mr. Festo replied he will look at it, and if they can leave them, he will.

154

155 Director of Planning Dym stated if you do not leave them, is the question.

156

157 Mr. Festo stated that is fine, then we will replace them.

158

159 Director of Planning Dym stated that will be placed in the resolution.

160

161 Mr. Zaberto added with native trees.

162

163 Chairman Currie stated the conifers should be replaced with the same conifers.

164

165 Ms. Gannon stated, CTE Barbagallo's memo is expressly saying item number 4F  
166 talks about existing trees, it says the applicant provide a survey of the existing site  
167 with tree locations and the applicant shall clearly identify which trees are to be  
168 protected during construction.

169

170 Ms. Gannon opined that, that would include trees on the boundary of the property  
171 as it is all part of the site that is being destructed, so the applicant has no choice but  
172 to comply with the memo.

173

174 Director of Planning Dym stated that will have to be added to the resolution.

175

176 Ms. Gannon added it is identified in, as well as an absolute direction by CTE  
177 Barbagallo,

178

179 Mr. McNamara stated normally the trees that are being preserved are flagged.

180

181 Chairman Currie asked if there were any other Board member comments.

182

183 There were none.

184

185 On a motion by Mr. McNamara, seconded by Ms. Gannon and unanimously  
186 approved, the Board moved to direct Director of Planning Dym to prepare the  
187 Negative Declaration and the Final Resolution for the June 12, 2019 Planning  
188 Board Meeting.

189

190

191 **HERITAGE HILLS SOCIETY: TM: 17.06-10-16**

192

193 Mr. Richard Williams, Insite Engineers approached the Board and introduced Mr.  
194 John Milligan from Heritage Management.

195

196 Engineer Williams stated he wanted to speak to the Board about the various  
197 Heritage entities that exist and who is actually the applicant on this project for  
198 clarity.

199

200 Engineer Williams specified that Heritage Society is the overall Homeowners  
201 Association (HOA) for the Heritage Hills development. Each Condo within  
202 Heritage Hills has their own HOA. Separate from Heritage Hills is Heritage  
203 Management (HM). HM is a private company, and Mr. John Milligan from HM is  
204 here this evening. They are the property managers that oversee the management  
205 and maintenance of the Heritage Hills development. Separate from these entities  
206 is the Heritage Hills Water and Sewer Corp.

207

208 Engineer Williams explained to the Board that he wanted to make this distinction,  
209 they are not the Water and Sewer Corp. The applicant on this project is Heritage  
210 Hills Society, which is the overall HOA for Heritage Hills.

211

212 Ms. Gannon stated she is resident of Heritage Hills and a member of the Society  
213 and pays dues to the sewage corporation. My Condo is not proximate to the site of  
214 this applicant, so I do not perceive myself as having a conflict with the application.

215

216 Mr. Bruce Prince stated he has to recuse himself from this application as he is both  
217 Vice President of the Society Board and is also head of the Stormwater  
218 Management Committee and is versed on this project and has been involved with  
219 the planning of it.

220

221 Engineer Williams began with where the project is. On the aerial map displayed,  
222 he pointed out the vicinity of the Heritage Hills Development, the Somers Hamlet,  
223 Route 100 & 202, the IBM Property, and the existing Somers Towne Center prior  
224 to DeCicco's, Heritage Hills Drive, the pond by Imperial Wok and the Sewer  
225 Treatment Plant. Just north of that is the main recreational facility for Heritage  
226 Hills. Just south of that is the intersection of Heritage Hill Drive, which runs North  
227 and South and West Hills Drive which runs to the west. The project is in from the  
228 intersection from Heritage Hills Drive on West Hill Drive.

229

230 On the next drawing Engineer Williams explained to the Board, is an enlargement  
231 of the intersection, he pointed out Heritage Hills Drive, the curve line of West Hill  
232 Drive which runs to the west and just to the west of Heritage Hills Drive is the  
233 pond, and the outlet structure of the pond is a concrete wall that has a spillway.  
234 Water flows over the spillway into a natural streambed which is then conveyed  
235 under West Hill Drive via an existing culvert with an inlet and outlet where the  
236 water continues down the stream.

237  
238 Engineer Williams continued saying the culvert construction is a CMP arch  
239 culvert, which means there are concrete footings that stick about one (1) foot above  
240 the natural stream bed and then there is a corrugated metal arch. The way the arch  
241 is constructed is with bolted panels, going from the left footing to the right footing.  
242 There are generally five (5) panels, two (2) on the left side of the arch, a center  
243 panel and two (2) on the right side of the arch and they are all bolted together.  
244 That is done throughout the length of the culvert with overlapping panels.

245  
246 Mr. Zaberto asked if it is corrugated metal.

247  
248 Engineer Williams replied yes.

249  
250 Engineer Williams continued, stating as part of the on-going maintenance and  
251 preservation it was noted there was deterioration and disintegration of a section on  
252 the inlet side of the CMP arch culvert and part of the corrugated metal actually  
253 broke away. On the other side, also on the inlet but on the western side, you can  
254 see the corrugated metal pushing in a roll due to the soil loads behind it. This is  
255 the condition that needs to be repaired. We reached out to Contec, the  
256 manufacturer of the culvert, their experts came out and recommended replacing  
257 nine (9) panels in the inlet side. On this plan the water is hi-lighted in blue, the  
258 culvert itself is yellow and then the panels that need replacing are in orange.

259  
260 Engineer Williams stated the way this work will be done is an excavator will be  
261 along West Hill Drive out of the road, over into the side of the culvert. They will  
262 then remove the soil over the culvert, and replace the nine (9) panels and then  
263 reinforce and re-stabilize the inlet of the culvert.

264  
265 Engineer Williams explained what lead to the deterioration is the drainage on West  
266 Hill Drive which has two (2) curb cuts where the Stormwater comes through the  
267 curb cuts and flows overland into the stream. The way it was designed it came in  
268 right alongside the edge of the culvert and has been leading to chronic erosion. A  
269 swale will be created to divert the water away from the culvert and farther uphill



270 where there is a little bit more pretreatment then currently exists. We are also  
271 going to re-stabilize the slopes with rip rap so they do not continue to erode. On  
272 the very inlet side of the culvert where you can see the stream flow; via the blue  
273 arrows; from the top of the page to the bottom of the page, you can see the culvert  
274 is not directly in line with the stream flow, so we are also going to use three (3)  
275 foot boulders to help armor that angle so that the water does not beat against the  
276 side of the culvert and funnel the water into the culvert better and also to help  
277 minimize future erosion.

278

279 Engineer Williams stated in order to accommodate this, we are going to sand bag  
280 the spillway inside the twenty four inch (24") pipe that will run from the spillway,  
281 straight through the work zone and into the existing culvert. That way the normal  
282 stream flow can continue and leave our work zone dry. There will also be a small  
283 de-watering pump – it is not realistic to assume there is not going to be any  
284 seepage or wet area within the stream bed, so this will keep the work zone dry.  
285 That will be pumped through the culvert and on the downstream side into what is  
286 called a "Dirt Bag".

287

288 Engineer Williams explained that these "Dirt Bags" are used on a lot of Golf  
289 Courses to dredge irrigation ponds. Basically, it is a big bag that fills up and has  
290 very small openings that traps all the sediment inside and at the same time lets the  
291 water out. The bags require maintenance and when they are filled to a certain  
292 amount they need to be replaced. He added this is one of CTE Barbagallo's  
293 comments and this is how we will keep the work site dry.

294

295 As far as equipment, within the stream bed there is not going to be any, the  
296 excavator will be uphill of the culvert and on dry ground. The only people going  
297 into the stream bed are the workers who are going to unbolt and rebolt the new  
298 pails. That allows them to be proactive in the event of rain. There are concrete  
299 footings that are one foot (1') tall, in the event of large rain fall. The sand bags can  
300 always be removed, let the water flow down the course – again removing the  
301 panels is not going to affect the stream flow because of the concrete footings still  
302 funneling the water. So a contingency is in place if it comes up, however the work  
303 period is anticipated to only be two (2) weeks.

304

305 Chairman Currie asked what percentage of the culverts you are replacing and is  
306 there a time frame on these and why not replace all of them now.

307

308 Engineer Williams stated to replace all of the panels now, is another cost in scope,  
309 the road and curbs would have to be removed and excavate out a lot of material. A

310 logistic plan would need to be developed so the work can be done in lanes, so that  
311 one lane can be kept open and the cost would be exponentially more.

312 Chairman Currie asked if it is just a matter of time before the other panels also go.  
313

314 Engineer Williams stated everything has a life cycle, at this point in time there is  
315 still life left in the remainder of the culvert.

316

317 Ms. Gannon asked based on what inspection told you that. A camera?

318

319 Engineer Williams stated the culvert is eight (8) feet tall, so it was a visual  
320 inspection.

321

322 Chairman Currie stated he believes that the water is going to get put back up  
323 further north so it is going to be treated more than it is.

324

325 Ms. Gerbino stated when you talk about pretreatment you are collecting debris and  
326 particles, correct?

327

328 Engineer Williams stated road salt & sands.

329

330 Ms. Gerbino asked more then what currently exists. So what currently exists is  
331 going where? Into the wetlands?

332

333 Engineer Williams stated right now, from the curb cuts we have ongoing erosion.

334

335 Mrs. Gerbino asked if you have erosion, then that erosion gets further forced down  
336 the stream into the wetlands.

337

338 Mr. McNamara stated silt.

339

340 Ms. Gerbino stated otherwise known as silt, then does this impact the sewer plant.

341

342 Engineer Williams stated he does not know how you make this connection. The  
343 sewer plant discharges into a stream.

344

345 Ms. Gerbino stated she knows where the stream is, and stated the sewer plant is  
346 next to a wetlands and so this is feeding into that wetlands.

347

348 Engineer Williams stated the volume of water we are talking about from the road  
349 and the amount of soil loss you are talking about a strip that is ten (10) feet long,

350 four (4) feet wide and not very deep. It is not enough to actually cause any  
351 downstream large flooding.

352 Ms. Gerbino stated that what you are doing is a benefit to the wetlands and  
353 therefore a benefit for the Town.

354

355 Mr. Zaberto asked if the pump will only be operating during the construction  
356 phase, meaning the time that there are workers in there, or is there a potential it  
357 could be running 24 hours to keep it dry.

358

359 Mr. Williams stated it will only be running when there is onsite work going on.

360

361 Mr. Zaberto added once work ceases for the day, the pump will be shut off, but if  
362 you get some water in the area, will that require you to have it on during night time  
363 hours.

364

365 Engineer Williams stated not at this phase.

366 Mr. Zaberto asked if the pump is gasoline driven.

367

368 Engineer Williams stated it will most likely be a trash pump connected to a  
369 generator.

370

371 Mr. John Milligan, Project Manager for Heritage Hills Society approached the  
372 Board and stated he wanted to expand a little more, relative to the question of the  
373 structural integrity of the rest of the culvert. They had engineers from Contec, the  
374 manufacturers of the original culvert, along with Eric from Insite and several other  
375 people walk the length of the culvert inside and based on that visual there does not  
376 seem to be any issues with the structural integrity of the rest of the culvert.

377

378 Mr. Mulligan continued saying it is important to realize that what has happened is  
379 not really a consequence of corrosion but of erosion. There is no corrosion visible  
380 in the rest of the culvert, it is a confluence of erosion from the stream bed up and  
381 from the curb cuts down that has led to the displacement of the panels.

382

383 Ms. Gannon asked if one of the underlining causes is the flow of water and how it  
384 enters the curb cut and asked if you are leaving the curb cuts.

385

386 Engineer Williams stated the curb cuts will remain but will be stabilized with rip  
387 rap to create a safer conveyance going down. He added in addition to the rip rap  
388 they are going to create a cut-off swale to prevent it from entering the inlet of the  
389 culvert.

390

391 Ms. Gannon asked what was the original design intent of the curb cuts that put  
392 them there in the first place.

393

394 Engineer Williams stated to let the water flow down the slope and into the stream.

395

396 Ms. Gannon asked if that was originally the plan.

397

398 Engineer Williams stated he has not gone back and done a record search but that is  
399 how it has been as far as he knows.

400

401 Mr. Mulligan stated basically there is a low point in the road at that location and  
402 water accumulates into a two (2) to three (3) inch deep puddle. There is no  
403 velocity there so it just lets the puddle drain off into that culvert. Now with the  
404 new design the water will be redirected and it is intended to remove the water that  
405 accumulates in that area. The grades do not lend themselves to a catch basin and  
406 tying into another catch basin.

407

408 Mr. McNamara stated it could also be soil settlement over the past thirty (30)  
409 years.

410

411 Engineer Williams informed the Board that in addition to their approval, they  
412 already have a New York State Department of Environmental Conservation  
413 (NYSDEC) Freshwater Permit for this work and the other entity that will have  
414 jurisdiction is the Army Corps. Of Engineers. That process is a two-step process  
415 and we have already reached out to them. It has been confirmed that we qualify for  
416 the "Nationwide 3", that is their permit. The way it works is we submit our pre-  
417 application, it goes out for a thirty (30) day comment period, which we are  
418 currently in, as we have made that submission. At the end of the 30 days a forty-  
419 five (45) day clock starts where the Army Corp of Engineers can ask for additional  
420 information and if they do not offer any comments after the forty-five days, the  
421 permit is issued. We are not expecting any objections for the Army Corp so we are  
422 just sitting and waiting for the time to expire.

423

424 Ms. Gannon asked Town Consulting Engineer (CTE) Barbagallo about the NYS  
425 DEC's permit where it references the plans as we have them here dated February  
426 15, 2019 and it seems to say that is the plan that you shall comply with, later on it  
427 does reference that it could be amended by the department, but we are not that  
428 department. How do you reckon that the NYS DEC has not signed off on these

429 plans and you are giving the applicant direction that could result in an amendment  
430 to these plans?

431

432 CTE Barbagallo stated they likely will.

433

434 Ms. Gannon asked how does that work together in a procedural level.

435

436 CTE Barbagallo stated he presumes that at the time the NYSDEC is ready to issue  
437 their permit, that Engineer Williams will have updated the plans to the current set  
438 of plans to make certain.

439

440 Engineer Williams stated they already have their permit.

441

442 CTE Barbagallo stated, what will happen if these plans change is Engineer  
443 Williams will have to go back and get an amendment.

444

445 Engineer Williams stated as they wind down the process with the Planning Board,  
446 which we have a comfort level as to when we are getting near the end of the  
447 comments working with CTE Barbagallo's office, they will submit that set to  
448 NYSDEC simultaneously and say we have been working with the Town on the  
449 local wetland permit, these are the latest amendments, can we amend our permit to  
450 the latest changes.

451

452 CTE Barbagallo stated in the end the permit will be issued with our plans.

453

454 Engineer Williams stated he would like to go over some procedural items. He  
455 believes that this is a Type II Action and would like to confirm this with the Board  
456 as that would make them exempt from SEQRA and they would not need to take  
457 any further action, and then they would like to schedule the Public Hearing.

458

459 CTE Barbagallo stated per their memo they have some concerns with a stability  
460 issue at the side slopes the one and one half (1 & ½).

461

462 Engineer Williams stated it was graded to 2 and 1, so it was just changing the  
463 detail.

464

465 CTE Barbagallo stated okay and that he would like to verify the rip rap sizing, as  
466 there seems to be some discrepancies on the plans where in one instance we are  
467 talking about the three (3) foot boulders protecting the footing and it is not shown

468 on the other side. He asked why the boulders are shown on one side and not the  
469 other.

470

471 Engineer Williams stated yes, it has to do with the fact that this culvert does not  
472 align directly with the stream flow, we want to armor the side that is going to be  
473 most impacted by the flow lines.

474

475 CTE Barbagallo stated they will have to look at that item to ensure the scour  
476 footing will ultimately be protected, on both sides as well.

477

478 CTE Barbagallo continued, adding that traffic is something that needs to be looked  
479 at and how it will be managed; construction sequencing – where is the staging and  
480 where the materials are going. We are really on the threshold of the limited  
481 disturbance and I want to make certain all the items are covered, as there is only  
482 one hundred (100) square feet to work with and my sense is that you will be over  
483 that, but we will see how that goes. My final item was going to be around the  
484 limited disturbance, lines will have to be drawn and we will have to make sure we  
485 are comfortable with that and that is the true limited disturbance. There are other  
486 detail comments but these are the bigger comments.

487

488 Ms. Gerbino stated she saw that it could go over the five thousand (5,000) square  
489 feet, which made her think of something else. We as a Town benefit from what is  
490 going on here, and asked if this is a “B” or “A” stream, as it is a perennial fresh  
491 water stream.

492

493 CTE Barbagallo stated he did not know.

494

495 Mr. Prince stated it was a “3”.

496

497 Engineer Williams stated it is either “A” “B” “C” and that he would have to check.

498

499 Mr. Prince stated a Class “C” Trout Stream.

500

501 Ms. Gerbino stated she has concerns that have to do with the Town Board. She  
502 stated that whatever could be done by the Town Board to apply for Federal  
503 Revenue Sharing funds, because the Town benefits broadly by anything that is  
504 done in Heritage Hills. Federal Revenue Sharing are tax monies that come from  
505 everybody and I think it is in order that applications be made that could be applied  
506 to the Society.

507

508 CTE Barbagallo stated the challenge with that is it is difficult to get public funding  
509 applied to private lands. I understand your comments about the benefits to the  
510 Town, but ultimately these are private lands. He continued saying that does not  
511 mean I do not think there are opportunities for Federal Revenue Sharing.

512

513 Discussion ensued regarding Federal Revenue Sharing, Lake Shenorock and Lake  
514 Lincolndale.

515

516 CTE Barbagallo added there are opportunities for us to look at this project and  
517 understand if there is potential for Phosphorous Reduction and that maybe the East  
518 of Hudson (EOH) could be approached, as they are not spending the money in the  
519 Non-FAD (Filtration Avoidance Determination) basins as they have. In thinking  
520 of this project and in talking about the inlets, CTE Barbagallo opined there is a  
521 decent opportunity to do a Phosphorous Retro fit project as part of this, especially  
522 using the by-pass swale. But this would really start with knowing if the applicant  
523 is interested in this.

524

525 Engineer Williams stated, let's start with time, as of today, the ideal time to do this  
526 work is in the summer, to secure an approval from this Board which using the most  
527 aggressive schedule as possible, we come back next meeting for a public hearing  
528 and a resolution – that would be June – we have to coordinate with NYSDEC, line  
529 up a contractor, submit site plans for signature which will take a week or two. As  
530 of right now with the most aggressive schedule this will start us in June or July,  
531 which puts us right in the middle of summer. The longer we wait and any other  
532 items we might add in, although benefitting in other ways would cost us in time  
533 and I would have to speak to the Society about that.

534

535 Mr. Zaberto asked where the stream ultimately ends up, in a wetland area,  
536 obviously south of that.

537

538 Engineer Williams responded yes.

539

540 Mr. Zaberto asked if it flows into any other body of water that is accessible to  
541 Town residents.

542

543 CTE Barbagallo asked if it is the same stream that ultimately flows into Fireman's  
544 Field.

545

546 Chairman Currie stated yes, adding then ultimately into Boniello's property.

547

548 CTE Barbagallo stated, although he did not specifically comment on sediment  
549 control during construction, that is obviously most important, but he believes they  
550 have a solid plan. This is an item they have to keep a very close eye on during  
551 construction.

552  
553 Engineer Williams stated some of the things they went through was that plan, we  
554 also talked a bit about construction and what the plan was. The main recreation  
555 facility is just north of the project site and the workers will park there, no machines  
556 will be located within the stream, the only excavator will be sited adjacent to the  
557 roadway, trucks will be staged temporarily for material delivery, such as rip rap or  
558 the stone. This is not uncommon in Heritage Hills as there is maintenance going  
559 on all the time, between catch basins, masons, pipe replacements and pavement.  
560 This is a three (3) way stop which helps control the traffic and there will be  
561 workers there as well.

562  
563 Ms. Gannon asked if the “Dirt Bag” as you described is an ongoing sediment  
564 catching condition, or is it just for this project during construction.

565  
566 Engineer Williams stated it is a temporary condition for construction to control if  
567 they have to do any de-watering in the area as opposed to putting in a trash pump  
568 to suck the silt and sediment, it is to control that.

569  
570 Ms. Gannon asked so that is just temporary, then the debris you take out, what do  
571 you do with it.

572  
573 Engineer Williams responded usually they will break the bag and get the sediment,  
574 our intent is to relocate it to another area. Engineer Williams pointed out on the  
575 map where the silt would be relocated to. The goal is not to import fill but to reuse  
576 whatever material they have.

577  
578 CTE Barbagallo added they have to be careful that the quality of the fill isn't  
579 highly erodible and if it is, just make sure it is at depth.

580  
581 CTE Barbagallo stated going back to the question of funding; there would be an  
582 opportunity here given the impervious surface, the timing would not require us to  
583 apply for a grant and that would further benefit the Town, it would provide some  
584 money, but you would have to speak to the Society about that and it might add a  
585 month to your schedule.

586



587 Ms. Gerbino added she also meant this for any future projects they have, because  
588 anything on that hill that is improved benefits the Town.

589  
590 CTE Barbagallo stated if there is willingness on the part of the Society, Engineer  
591 Williams and I can do a site walk and maybe identify some areas and we can look  
592 for some areas to do retrofit projects and we can partner with Heritage to approach  
593 the EOH. Right now the money being spent outside of the FAD basins, which we  
594 are in, has be curbed back a little bit.

595  
596 Engineer Williams stated Heritage has a head of the Stormwater Committee and he  
597 would have to be consulted with.

598  
599 Mr. Prince asked if the Society, which is obviously going to pay for this project at  
600 a significant cost, could funding come after the fact.

601  
602 CTE Barbagallo stated yes, but it depends on if this project could account for any  
603 phosphorus lowering. Adding he was speaking about potentially modifying this  
604 project in a way that we can put some elements in meaning the water that we were  
605 going to pick up in that swale is probably treatable. So what I was talking about  
606 was a modification to this plan to make sure we are getting phosphorus, but as far  
607 as this plan goes there may still be an opportunity because of the bank erosion.  
608 After a brief dialogue with Engineer Williams it was decided there is not enough  
609 phosphorus for this project.

610  
611 Ms. Gannon stated the whole of the West Hill, the other side of West Hill, its  
612 terminal point is Warren Street which is not Heritage property and there is a drain  
613 there.

614  
615 Mr. Prince stated that is only part of the West Hill, the rest of the property goes  
616 down into the other side of the hill.

617  
618 Ms. Gannon stated that one portion there is a huge slope that comes down, but does  
619 not know if there anything there at that drainage point.

620  
621 CTE Barbagallo stated he does not know what is going on with the road that was in  
622 the back, but there is definitely opportunity in the maintenance area to do  
623 something for Stormwater. If the Society wanted to do something, we could  
624 identify a project like that and we could talk to EOH about its fundability and  
625 depending upon the amount of phosphorous that we would get we could possibly  
626 get money going in for something like that.

627 Ms. Gerbino stated she just wanted to alert that anything going on in Heritage Hills  
628 the Town benefits from that.

629

630 CTE Barbagallo added from many perspectives, but absolutely from a Stormwater  
631 perspective.

632

633 Mr. Goldenberg asked about the Brownsfield Program and if something like that  
634 could be done on this project.

635

636 CTE Barbagallo stated, that money is associated with the cleanup of contamination  
637 and not for the protection of the reservoir. That program of tax relief is for private  
638 developers taking on the liability of past landowners and agreeing to clean it up  
639 and if the developer does that, the state will allow them to deduct that investment.

640

641 Mr. Goldenberg asked if the Society would fall under that category as a private  
642 developer.

643

644 CTE Barbagallo stated luckily this is not a contaminated site. He added for this  
645 project we can expedite, move as quickly as possible and hope to get them on  
646 schedule. As far as money we will look in the future for other monies to do that.

647

648 Chairman Currie asked if the Board was ok with scheduling a Public hearing at the  
649 June 12, 2019 meeting.

650

651 All responded yes.

652

653 Engineer Williams asked if it was premature to go to a resolution in the event they  
654 can address these comments.

655

656 CTE Barbagallo stated they could probably have a resolution ready. He would  
657 want to make certain everyone is working closely because this is pretty critical and  
658 that everyone is on the same page. He can move forward on a resolution for the  
659 Board's potential action on after the Public Hearing depending upon input and  
660 status of the plan.

661

662 On a motion by Chairman Currie, seconded by Mr. Zaberto, and unanimously  
663 approved, the Board moved to schedule the Public Hearing for June 12, 2019.

664

665 Chairman Currie stated prior to the meeting Mr. Prince had brought up some  
666 interesting comments and would like to spend some time on his concerns and good  
667 points.

668  
669 Mr. Prince stated he has some serious concerns with regard to development  
670 projects in the Town of Somers and when possible, he thinks the Planning Board,  
671 with their expertise and its related consultants be involved as much as possible in  
672 making those decision. I know there are certain situations where the Town Board  
673 has to, because of codes and by-laws, be Lead Agency, but I think it is important  
674 that the Planning Board consider, or make a motion or desire to being as included  
675 as possible on all the major developments in this town. Not just small  
676 developments but of the major developments that take place.

677  
678 CTE Barbagallo asked when you refer to developments, it makes me think of  
679 private sector activity in town, are you talking about all construction projects, for  
680 example the Town is going to be pursuing the construction of the sewers in  
681 Lincolnale and Shenorock, is that the kind of projects you are referring to.

682  
683 Mr. Prince stated no, I am referring more to the DeCicco's and the Boniello  
684 developments and the potential for the Academy up on the IBM site. I know  
685 because of the needed zoning change the Town Board will have to be the Lead  
686 Agency. I think the Planning Board needs to be right behind the Town Board with  
687 regard to the expertise on deciding what a viable project is and how it should work.

688  
689 CTE Barbagallo stated he agreed with Mr. Prince on the matter of the expertise  
690 needed, a lot of the projects he mentions this Board is having a roll.

691  
692 Mr. Prince stated he is not saying the Planning Board has been eliminated, but  
693 there are certain projects that this Board has had less input than others.  
694 Knowing I am new on the Board, there are certain projects we have had less input  
695 or our input has come by the request of the Town Board.

696  
697 CTE Barbagallo stated there are also many instances similar to the DeCicco's and  
698 the Boniello developments that are going on where the Town Board is Lead  
699 Agency. By going through SEQRA and granting approvals, the Planning Board  
700 issues Site Plans, but it is on how we are doing the site in the plan and not if we are  
701 doing the site plan.

702  
703 CTE Barbagallo asked Mr. Prince if his comments were more that you want this  
704 Board to have has much input as possible in the "if" scenario not the "how"

705 scenario, although this Board will always have it on the “how” scenario but do you  
706 want more on the “if” scenario.

707

708 Mr. Prince stated he thinks someone mentioned the word “shall” before with  
709 regard to certain segments of the Zoning Code or something. I believe we should  
710 have more “shall’s” in here then “what does the Town Planning Board think of  
711 this” Our involvement should not be at the discretion of whether the Town Board  
712 wants us to make a comment or not, we should be involved.

713

714 Mr. Zaberto asked what would prevent us from, in an instance where jurisdiction is  
715 handed over to the Town Board to move the project forward, and to take public  
716 comment and hearings. Why couldn’t we operate as a committee like some of the  
717 other committee’s in Town, have a representative at the Town Board meeting to  
718 take in the information that is being shared so that we can get it back to the Board,  
719 be notified of when it is on the Town Board Agenda so that we can stay informed  
720 on this.

721

722 Mr. Zaberto stated he believes that is what Mr. Prince is alluding to, that this Board  
723 is not always up to date on the progress.

724

725 CTE Barbagallo stated Mr. Zaberto’s statement clarifies what the Board is looking  
726 for.

727

728 Mr. Zaberto stated once the SEQRA responsibilities go to the Town Board and it is  
729 off our agenda we do not hear anything about the project. As Board members and  
730 Town residents, we still have an interest in the project and would like to be able to  
731 afford information.

732

733 CTE Barbagallo stated you may not see it show up on a Town Board Agenda, so  
734 you may not know to watch the television or video.

735

736 Mr. Zaberto stated to open a channel of communication, adding his previous time  
737 on committees he felt like that happened a lot where there was an issue of  
738 communicating between Boards and Committees. We all have a common goal  
739 here and in this case we want to ensure that the developments and projects benefit  
740 as many people as possible, that they are handled under the auspices of the laws  
741 and we should know or at least be briefed. We should have someone at a Town  
742 meeting or another Board meeting where it has been transferred to, so that we can  
743 follow through the project, especially if it started here.

744

745 CTE Barbagallo stated what you are suggesting is obviously good government, all  
746 the brains of the government are working together for the betterment of that entity.  
747 Neither I, nor Director of Planning Dym are at every one of those decisions, so I  
748 am wondering if the Board should, in a certain way, on specific applications,  
749 maybe there is a protocol. What you are saying makes a lot of sense, but I do not  
750 have the ability to drive that.

751

752 Mr. Prince, you do not have the infrastructure concept.

753

754 Ms. Gerbino stated she has a suggestion that will help. She stated that Mr. Prince -  
755 as a new member learned that under certain circumstances the Town Board has to  
756 be the Lead Agency, if there is a change in the Zoning the Town Board must be  
757 Lead Agency. I would agree that at times I am critical of the Town Board when  
758 they did not do things as Lead Agency or did things that we did not know anything  
759 about.

760

761 She continued stated her puzzlement when the Town Board declares itself Lead  
762 Agency a letter goes to all the agencies, so they know, and they must respond and  
763 say we acknowledge the Town Board as Lead Agency and some of those agencies  
764 will remind the Town Board of certain obligations. As an example of her  
765 puzzlement, on May 2, 2019 the Town Board declared itself Lead Agency on  
766 creating a sewer district for Lincolndale. She, as an Interested Agency, did not get  
767 a letter, the Planning Board should have received a letter just like all the other  
768 agencies. She does not understand why the Planning Board does not get a letter  
769 like everyone else.

770

771 Director of Planning Dym stated she would have to look at the distribution list and  
772 is fairly certain the Planning Board is on there. She continued saying the only  
773 people that get the cover letter, are the "Involved Agencies", those Agencies that  
774 are required to issue a permit, but in this case the Planning Board is an "Interested  
775 Agency" so you are informed.

776

777 Ms. Gerbino opined that this should be on our Agenda so that we can collectively  
778 respond.

779

780 Discussion ensued on this matter and Director of Planning Dym stated if you  
781 would like, on items that the Planning Board is an Interested Agency for them to  
782 show up as an item for discussion.

783

784 Ms. Gerbino stated, she has an item, the school.

785 Mr. Prince clarified the Academy.

786

787 CTE Barbagallo stated, there this Board is an “Involved Agency”.

788

789 Ms. Gerbino stated it should have been on our agenda and some of us could have  
790 contributed things that we know that the Town Board was not aware of.

791 Director of Planning Dym responded, you were invited, there were meetings way  
792 up front that the Planning Board was invited to and contributed to all the issues.

793 Ms. Gerbino agreed and added she just wished the formal part just does not exist.

794

795 Mr. Zaberto asked, as the newest member on the Board, he has several memos  
796 from other Boards and Committees regarding projects that we are responsible for,  
797 where questions are asked and clarifications are requested, which tells me that they  
798 are discussing these items, assumably because that project was on their agenda to  
799 be discussed. Could we establish that once jurisdiction is transferred to another  
800 Board or agency, when those decisions come up, can we discuss it as a Board, or  
801 does that not fall under the purview of the Planning Board to do and to give a  
802 recommendation?

803

804 CTE Barbagallo stated, when you get a memo from the Open Space Committee (as  
805 an example) this Board is referring those projects to the Open Space Committee.

806 That is the mechanism that triggered it on their agenda. When the Town Board  
807 refers something to this Board, it automatically shows back up on an Agenda.

808 What is not happening is, when the Planning Board is an interested or involved  
809 Agency in another agencies approval, should we be carrying something on the end  
810 of the agenda just let’s check in on all these things.

811

812 Director of Planning Dym stated we can certainly add them as items of discussion  
813 and the Code identifies very specifically some of the referrals. She added the  
814 applications that come into the Planning Office, she is responsible for saying where  
815 they go and who gets them. Some of them are defined by the Code; some of the  
816 categories and zones define where things have to be referred to, particularly the  
817 Open Space Committee. When it is a Town Board referral they are required, such  
818 as a zone change, they are required to refer it to the Planning Board. The Town  
819 Board is required to ask for your opinion on Zone changes, so you have to get that.

820

821 Ms. Gannon added sometimes the Board will be silent and sometimes we will ask  
822 the Town Board a question and they will be silent. The dialogue is not always a  
823 discussion or input, sometimes it is assent by not responding or having a  
824 conflicting opinion. Another thing you are mentioning is comments received from

825 other Boards. Often what will happen when an application comes up, the  
826 Chairman will say since the last meeting we have received this input and will  
827 provide a general synopsis of that memo and that acknowledges it for the record.  
828 We do try to track and memorialize the fact that it has been received for the record.

829

830 Chairman Currie stated he believes what may have started this was for the  
831 Planning Board to have more input in the beginning of the process, even if we are  
832 not the Lead Agency. In order to do that we will have to be privileged to all the  
833 information that has been received from the applicant.

834

835 CTE Barbagallo added there is, in 2019 technology and systems that could make  
836 that easy. Then of course there is just picking up the phone.

837

838 Ms. Gannon stated the only caveat to that is to have a central mechanism where  
839 comments are shared among people from Boards, but you cannot have off line  
840 discussions. So maybe if you could subscribe to a platform, using the Planning  
841 Board as an example, get an announcement of the meeting and the agenda with the  
842 appended documentation.

843

844 Chairman Currie stated it could still be handled at a public meeting in a public  
845 forum. Further discussion ensued among the Board.

846

847 Mr. Zaberto stated a temporary solution could be just to be notified what the Town  
848 Board has on their Agenda, so that someone can go to that meeting, as a town  
849 resident and hear what is being discussed as a project so that this Board can stay  
850 abreast of things.

851

852 Director of Planning Dym stated she has communications with the Supervisor's  
853 Executive Assistant about things that need to go on the Town Board Agenda. In  
854 addition she can ask her to inform them about anything that may be of interest to  
855 the Planning Board and therefore it would be up to the Planning Office to get this  
856 information to the Board.

857

858 Mr. Prince stated, we have established that there are cracks in the process, I would  
859 like to recommend (if it is doable) that a committee that would look at and come  
860 up with a basic infrastructure system, which would then be the mechanism for all  
861 this intercommunications. That needs to be done in a more professional manner  
862 than we can do at this table. It might take some meetings with people from  
863 different agencies to talk about how we set up a structure and once established then  
864 this communication could link into it much more easily.

865 Ms. Gannon stated, unless the goal is to get the information in advance of the  
866 publication of the Agenda, if the Agenda packet, that has the appended information  
867 that is being included now under the Open Meetings Law. As a Land Use Law  
868 researcher, we go to the municipality's websites to get a sense of what is going on.  
869 That is the best and richest immediate data for information. The Town Board  
870 Work Session always precedes our meeting, if there was something of note, maybe  
871 someone could advise us of a decision at the Work Session. But the next regular  
872 Town Board Meeting is the day after our meeting. After further discussion Ms.  
873 Gannon suggested someone retrieve the Town Board Agenda with its attached  
874 back up documentation.

875  
876 CTE Barbagallo stated the Board could either formally write a letter to the Town  
877 Board requesting all Town Board Meeting Agendas, once finalize, be circulated  
878 directly to the Planning Board along with the materials you have to go to the web  
879 site.

880  
881 Ms. Gerbino added that sometimes they are posted and sometimes they are not, as I  
882 already use the site to get that information.

883  
884 CTE Barbagallo stated the second request might come in the form of a request for  
885 a coordination meeting with the Town Board to look for process improvements for  
886 inter-agency coordination. This is what I am hearing, and you might want to issue  
887 a memorandum in that sense to the Town Board or, the Chairman could have a  
888 conversation with the Supervisor about this.

889  
890 Director of Planning Dym asked the Board if they wanted her to write a memo or  
891 have the Chairman have a discussion with the Supervisor about this.

892  
893 After a brief discussion, it was agreed that Director of Planning Dym will compose  
894 a memo to the Supervisor and Chairman Currie will meet with the Supervisor.

895  
896 Chairman Currie stated the next meeting of the Planning Board will be June 12,  
897 2019 at 7:30pm.

898  
899 On a motion by Chairman Currie, seconded by Ms. Gannon and unanimously  
900 carried, the Board move to adjourn the meeting at 8:45pm.

901

902

903

904

Respectfully submitted,



905  
906  
907  
908  
909

**Barbara J. Sherry**  
**Planning Board Secretary**

7/23/2019 2:04 PM  
Z:\PE\Planning Board meetings\Minutes\2019\May 8, 2019.docx

draft

TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
APPLICATION FOR ENVIRONMENTAL PERMIT  
CHAPTER 167 "WETLAND AND WATER COURSE PROTECTION"

APPLICATION FEE:

Alteration of Wetlands: \$200 minimum fee plus \$100 per 5,000 S.F. of regulated area or proposed portions thereof to be disturbed.

Annual Maintenance Permit Renewal Fee: Administrative Permit: \$25.00, Planning Board Permit: \$75.00

OWNER: STEVE WILKINSON & JONES <sup>BRENDA</sup> Tel.#: 203-609-1053  
Mailing Address: 16 ANAROCK DRIVE SOMERS NY 10589  
APPLICANT: SAME Tel.#: \_\_\_\_\_  
Mailing Address: SAME  
State authority: OWNER If other than owner, authorization must be submitted in writing.

PREMISES: Sheet: 28.05 Block: 1 Lot: 7  
Situating on the WEST side of ANAROCK DRIVE (Street), 1000 feet from the intersection of HIGHLAND AVENUE (Street)

DESCRIPTION OF WORK AND PURPOSE: EXPANSION AND RENOVATION OF EXISTING RESIDENCE, CONSTRUCTION OF A CURTAIN DRAIN

SIZE OF ACTIVITY AREA: 16' x 17' 6"

Is work proposed in Wetland: NO or Wetland Control Area: YES

Is there an existing house located on the site: YES

Is pond, lake or detention basin proposed to be cleaned: NO

Functions provided by Wetland: SEE REPORT

Wetland Expert delineating Wetland: TED KOZLOWSKI

ESTIMATED QUANTITY OF EXCAVATION: 0 C.Y. 0 CUT 0 FILL

ESTIMATED TOTAL VALUE OF WORK: \$20,000.00

PROPOSED STARTING DATE: 4/1/19 PROPOSED COMPLETION DATE: 9/1/20

PLANS PREPARED BY: KARELL DATED: 4/23/19

**\*\*Plans must be submitted with application.\*\***

LIST OF APPLICABLE COUNTY, STATE, OR FEDERAL PERMITS: NONE

LIST OF PROPERTY OWNERS OF RECORD OF LANDS AND CLAIMANTS OF WATER RIGHTS WITHIN 100 FEET OF SUBJECT PROPERTY

NAME	ADDRESS	BLOCK	LOTS
<u>see attached list</u>			

APPLICANT'S SIGNATURE: \_\_\_\_\_ DATE: 5/28/2019  
OWNER'S SIGNATURE: \_\_\_\_\_ DATE: 5/28/2019

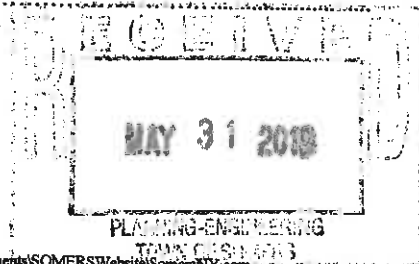
\*APPLICATION MUST BE ACCOMPANIED WITH A COMPLETED ENVIRONMENTAL ASSESSMENT FORM, COMPLETE PLANS FOR LOT IMPROVEMENTS, AND LOCATION MAP OF WETLANDS AS THEY EXIST IN THE FIELD OR AS SHOWN ON SOMERS ENVIRONMENTAL MAPS.

Office Use Only

Administrative Permit: \_\_\_\_\_

Planning Board Permit: \_\_\_\_\_

FILE COPY



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

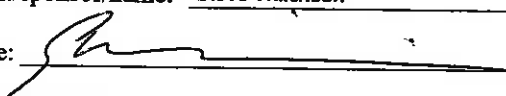
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project: Wilkinson House Addition				
Project Location (describe, and attach a location map): 16 Anarock Drive, Somers, New York				
Brief Description of Proposed Action: Renovations to the existing house including: First Floor: Add and office in the back (bumpout in the back, drop the raised Living room and add a utility room and laundry room (move utilities from the basement, pull the garage forward to restore room for two cars, (bumpout in the front by the driveway), move 1/2 bath, add a front porch (except in front of the garage) Second Floor: Raise roof/change roofline, increase bedrooms to 4 from 2-3, including new master Bedroom, add bonus room, reconfigure two existing bathrooms				
Name of Applicant or Sponsor: Steve Wilkinson		Telephone: 203-609-1053		
Address: 16 Anarock Drive		E-Mail: wilkinson.sh@gmail.com		
City/PO: Somers		State: NY	Zip Code: 10589	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.0 acres		
b. Total acreage to be physically disturbed?		0.1 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.0 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				

MAY 31 2019

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ existing drilled well	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ existing septic system	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Steve Wilkinson</u> Date: <u>April 25, 2019</u>		
Signature:  Title: <u>owner</u>		

**TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
CHAPTER 67 "APPLICATION PROCESSING RESTRICTIVE LAW"**

**CERTIFICATION**

I hereby certify that to the best of my knowledge no outstanding fees are due and owing to the Town of Somers for the following property:

Section 28.05 Block 1 Lot 7

Property Address 16 ANAROCK DRIVE

Permit Applying For ENVIRONMENTAL & FLOOD DAMAGE PROTECTION  
WETLANDS

Furthermore, I hereby certify that to the best of my knowledge no outstanding violation (as that term is defined for the purposes of the Application Processing Restrictive Law, Paragraph 4D) of local laws or ordinances of the Town of Somers exist with respect to the above cited property or any structure or use existing thereon.

Signed [Signature]  
(Owner of Record)

Signed [Signature]  
(Applicant for Permit)

Stephen H. Wilkinson  
(Print Name)

Brenda Jones  
(Print Name)

Date 5/28/2019

Date 5/28/19

**CONFIRMATIONS**

\_\_\_\_\_  
Zoning Enforcement Officer

Date: \_\_\_\_\_

\_\_\_\_\_  
Director of Finance for Fees

Date: \_\_\_\_\_

SW  
\_\_\_\_\_  
Engineering Department

Date: 6/3/19

\_\_\_\_\_  
Receiver of Taxes

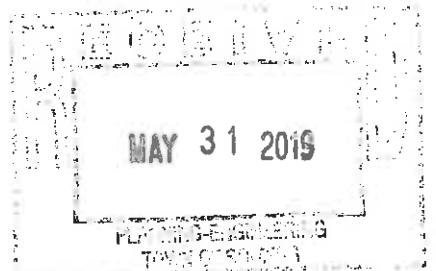
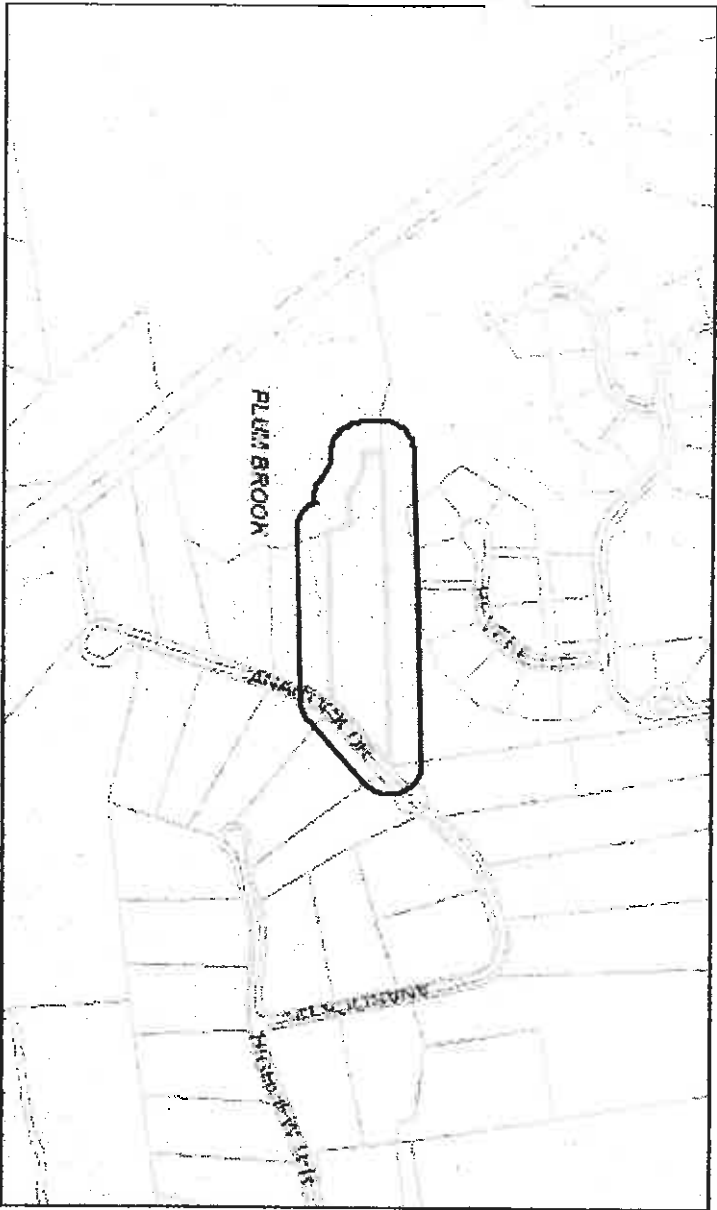
Date: \_\_\_\_\_

# Tax Parcel Maps

Address: 16 ANNAROCK DRIVE

Print Key: 28.05-1-7

SBL: 02800500010070000000



TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
APPLICATION FOR DEVELOPMENT PERMIT COVERING WORK UNDER  
FLOOD DAMAGE PROTECTION LOCAL LAW  
CHAPTER 102

APPLICATION FEE: \$200.00

DATE PAID: \_\_\_\_\_

IDENTIFICATION OF APPLICANT:

OWNER: Stephen Wilkinson and Brenda Jones

ADDRESS: 16 Annarock Drive  
Somers, NY 10589

TELE #: Steve (303) 609-1053

APPLICANT: Same as above

ADDRESS: Same as above

TELE #: same as above

(If other than owner, authorization from the owner must be submitted in writing: \_\_\_\_\_)

IDENTIFICATION OF PROPERTY:

TAX MAP DESIGNATION: SHEET: 28.05 BLOCK: 1 LOT 7  
Situated on the West side of 16 Annarock Drive (street)  
Within the floodplain of Plumb Brook

BRIEFLY DESCRIBE PROPOSED WORK AND PURPOSE: Expansion and renovation of existing residence

Proposed work is: New  Reconstruction  Fire Damage Repair

Size of Activity Area: 16' x 17.6" addition

Additional Approval Needed: NONE  
(Attach a copy of proof of approval)

MAY 31 2019

Site Location as shown on Floodway - Boundary and Flood Way Map:

Floodway Zone: X Base Elevation Level \_\_\_\_\_

Proposed Lowest Habitable Finish Floor Elevation: 100.0

Plans Prepared by: JOHN KARELL, JR., PE Dated: 4/23/19

Information to be provided to make a determination: (The Town Engineer may require any additional information deemed necessary)

FILE COPY

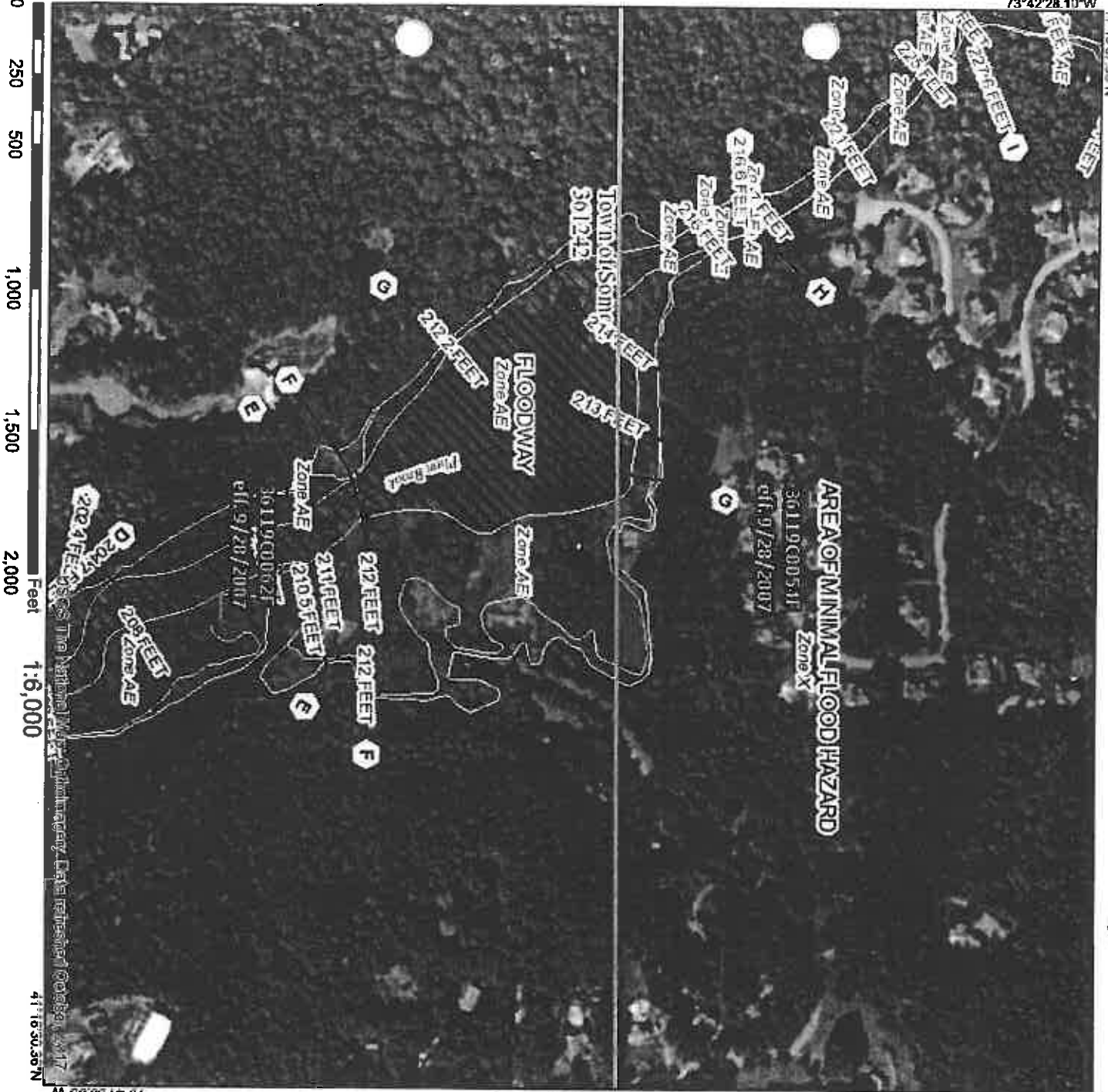
Type of Activity  
Lowest Floor Elevation





73°42'28.10"W

41°19'57.20"N



## Legend

SEE THIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
  - Without Base Flood Elevation (BFE) Zone AE or Zone X With BFE or Depth Zone AE, AO, AH, VE, AP Regulatory Floodway

- 0.2% Annual Chance Flood Hazard, Areas or 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee, See Notes, Zone X
- Area with Flood Risk due to Levee Zone D

- OTHER AREAS OF FLOOD HAZARD**
  - NO SCREEN
  - Area of Minimal Flood Hazard Zone X
  - Effective LOMRs

- OTHER AREAS**
  - Area of Undetermined Flood Hazard Zone D

- GENERAL STRUCTURES**
  - Channel, Culvert, or Storm Sewer
  - Levee, Dike, or Floodwall

- Cross Sections with 1% Annual Chance Water Surface Elevation**
- Coastal Transsect**
- Base Flood Elevation Line (BFE)**
- Limit of Study**
- Jurisdiction Boundary**
- Coastal Transsect Baseline**
- Profile Baseline**
- Hydrographic Feature**

- OTHER FEATURES**
  - Digital Data Available
  - No Digital Data Available
  - Unmapped

- MAP PANELS**
  - The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

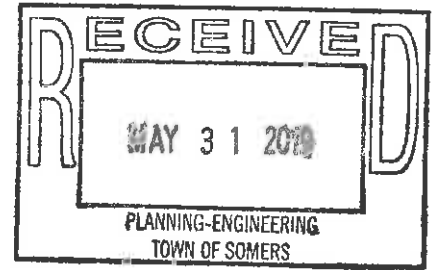


This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/23/2019 at 5:10:22 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and undetermined areas cannot be used for regulatory purposes.

136 BIG ELM ROAD  
BREWSTER, NEW YORK 10509  
(845) 278-6169  
TKOZLOW@ACL.COM



July 20, 2018

Mr. Steve Wilkinson  
16 Annarock Drive  
Somers, NY 10589

RE: Wetland Delineation  
16 Annarock Drive, Somers, NY

Dear Mr. Wilkinson:

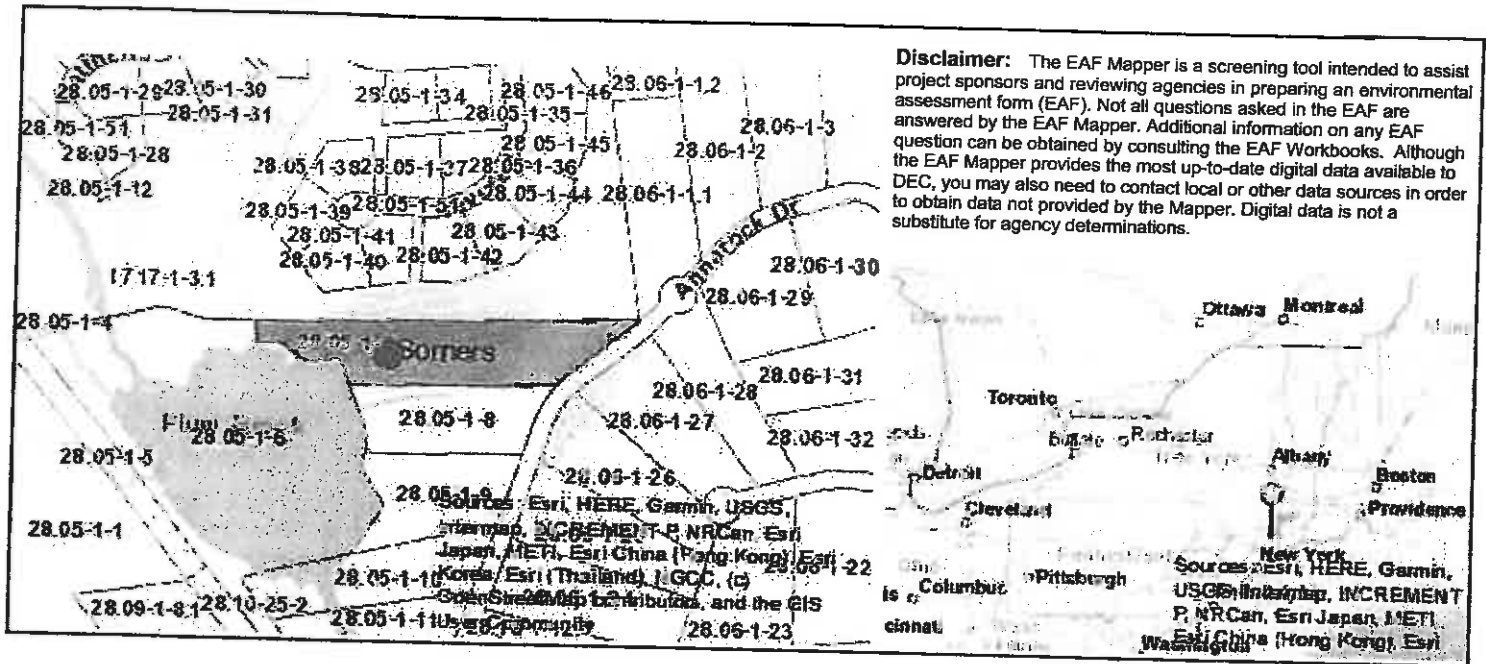
On this date I reviewed your proposed project with you and inspected the surrounding area to determine wetland areas that may be within 100 feet of any of your proposed disturbances. The only wetland on your property is associated with Plum Brook Pond. I placed 12 pink survey flags along the wetland and shore line within your property bounds (I did go slightly beyond it at Fags 10 to 12).

There is some wetland on your neighbors' property to the east but it well away from any of the proposed work and will not be affected by your project. Specifically, it will not be within any regulatory zones for your septic field expansion.

Please contact me if you have any further questions and thank you for this opportunity to be of service.

Sincerely,

Ted Kozlowski, Certified Wetland Delineator



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

RECEIVED  
MAY 31 2019  
PLANNING-ENGINEERING  
TOWN OF SOMERS

ENERGY ENVIRONMENT COMMITTEE

Telephone  
(914) 277-5582  
Fax  
(914) 277-3790

**Town of Somers**  
WESTCHESTER COUNTY, N.Y.

SOMERS TOWN HOUSE  
335 ROUTE 202  
SOMERS, NY 10589

DON BLEASDALE  
CHAIRMAN



**MEMO TO:** Planning and Engineering

**FROM:** Energy Environment Committee

**RE:** Wilkinson/Jones Wetland and Flood Damage Protection Application

**DATE:** June 13, 2019

At our monthly meeting on June 10, 2019, the Committee reviewed and discussed documentation submitted for the Wilkinson/Jones Wetland and Flood Damage Protection Application. There were no comments.



## MEMORANDUM



**TO:** Town of Somers Planning Board  
**CC:** Marilyn Murphy, Planning Board Secretary  
**FROM:** Joseph C. Barbagallo, P.E., BCEE  
**DATE:** July 3, 2019  
**RE:** Wilkinson - 16 Annarock Drive  
Wetland Permit Approval  
TM: 28.05-1-7

### GENERAL

The purpose of this memorandum is to provide the Planning Board with a summary of our comments related to the review of the Application for a Wetland Permit that has been submitted for 16 Annarock Drive in Somers, New York.

The application proposes the expansion and renovation of the existing residence and the construction of a curtain drain. The project site is located within the East of Hudson watershed and a portion of the proposed work will occur within the 500-year flood plain.

This review focused on the engineering design and the associated Town Code requirements in accordance with the following:

- Town of Somers Code, Chapter 93: *Stormwater Management and Erosion and Sediment Control*, and other sections, as applicable.
- *New York State Standards and Specifications for Erosion and Sediment Control*, dated November 2016.
- *New York State Department of Environmental Conservation's (NYSDEC's) Stormwater Management Design Manual (SMDM)*, dated January 2015.

### DOCUMENTS REVIEWED

- Mailing Labels for Property Addresses, no date provided.
- Tax Parcel Map for 16 Annarock Drive
- National Flood Hazard Layer FIRMette
- "Town of Somers, Westchester County, New York. Application for Environmental Permit, Chapter 167 "Wetland and Water Course Protection", by Stephen Wilkinson and Brenda Jones dated May 28, 2019.
- "Town of Somers, Westchester County, New York, Chapter 67, Application Processing Restrictive Law, Certification", by Stephen Wilkinson and Brenda Jones, dated May 28, 2019.



- "Town of Somers, Westchester County, New York, Chapter 102, Application for Development Permit Covering Work Under Flood Damage Protection Local Law", by Stephen Wilkinson and Brenda Jones, not dated.
- "Short Environmental Assessment Form", by Stephen Wilkinson, dated April 25, 2019.
- "Amended Map of a Portion of Plumbrook Acres showing Revised Drainage Easement of Somers, Town of Somers, Westchester County, NY", prepared by Bilbo Associates, dated August 8, 1986.
- "Westchester County Recording & Endorsement Page", dated April 9, 2014.
- Wetland Delineation Cover Letter, "RE: Wetland Delineation, 16 Annarock Drive, Somers, NY", prepared by Ted Kozlowski, dated July 20, 2018.
- Drawing, "Site Plan", prepared by John Karoll, Jr. P.E., dated April 23, 2018
- Survey, "Survey of Property Situate in the Town of Somers, Westchester County, New York", prepared by Link Land Surveyors, P.C., last revised April 17, 2019.

#### PERMITS AND APPROVALS REQUIRED

- Town of Somers Planning Board: Stormwater Management and Erosion and Sediment Control Permit
- NYSDEC: SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002) \*
- Town of Somers Planning Board: Wetland and Water Course Protection Permit
- NYCDEP: SWPPP Approval\*\*

\*If the limits of disturbance is greater than or equal to 5,000 square feet

\*\*Based on NYCDEP determination

#### DISCUSSION

The following is a summary of our comments at this time. It should be noted that further comments may be provided upon review of additional information.

1. The Applicant has quantified the proposed limits of disturbance in the Short EAF as 0.1 acres (approximately 4,356 square feet). The Applicant shall delineate the proposed limits of disturbance on the Site Plan Drawing.
  - a. If the limits of disturbance are greater than or equal to 5,000 square feet, then the Applicant shall provide a Stormwater Pollution Prevention Plan (SWPPP) which



complies with the requirements of Section 93-6(A)(1) of the Town Code for review and acceptance by the Consulting Town Engineer.

- b. If the limits of disturbance are greater than or equal to 5,000 square feet, then the Applicant shall provide a draft Notice of Intent and MS4 SWPPP Acceptance Form to obtain coverage under NYSDEC General SPDES Permit (GP-0-15-002).
  - c. Once the final limits of disturbance have been clarified, the Applicant shall update all necessary application documents to reflect the actual limits of disturbance.
2. The Applicant shall furnish a determination from New York City Department of Environmental Protection (NYCDEP) for any permit/approval that may be required.
  3. The Applicant shall provide a stormwater management feature (i.e. rain garden, bioretention facility, etc.) to mitigate potential negative environmental impacts to the wetlands from the proposed site improvements. The stormwater management feature shall be designed in accordance with the NYSDEC SMDM.

The following comments relate the implementation of a proposed stormwater management feature for the proposed site improvements:

- a. The Applicant shall provide Water Quality Volume (WQv) calculations and demonstrate that the proposed stormwater management feature has been sized to treat the required WQv.
  - b. The Applicant shall demonstrate that the proposed stormwater management feature is satisfying the minimum Runoff Reduction Volume (RRV) requirement for the proposed site improvements.
  - c. The Applicant shall provide installation/inspection/maintenance requirements for the proposed stormwater management feature.
  - d. The Applicant shall provide system elevations for the proposed stormwater management feature.
  - e. The Applicant shall design an outlet/overflow mechanism for the proposed stormwater management feature.
  - f. The Applicant shall provide deep and percolation tests to support the feasibility of the proposed stormwater management feature.
5. The Applicant shall provide a silt fence detail and shall indicate the location of the silt fence on the Site Plan.



6. The Applicant shall provide a soil stockpile detail and shall indicate the location on the Site Plan.
7. The Applicant shall provide a stabilized construction entrance detail and shall indicate the location on the Site Plan. If the existing driveway is to be used, the Applicant shall indicate how the driveway will be cleaned/maintained to prevent off-site sediment migration from tracking.
8. The Applicant shall provide a concrete washout area detail and shall indicate the location on the Site Plan.
9. The Applicant shall show the intended location of the equipment staging area on the Site Plan.
10. The Applicant shall provide a typical construction detail for orange construction fencing to be used on-site and shall indicate the location on the Site Plan.
11. Based on aerial photography, it appears that existing trees are located within the area of the proposed work. The Applicant shall indicate which trees are proposed to be removed or protected during construction. If any trees are to be protected, the Applicant shall provide a tree protection detail on the Site Plan.
12. The Applicant shall include a construction detail for the proposed curtain drain on the plans.
13. The Applicant shall clarify the "proposed" portion of the SSTS area shown on the site plan. If applicable, the Applicant shall revise the plans to show protective markers or construction fence surrounding the proposed septic absorption field limits to prevent over-compaction by equipment tracking during construction.
14. The Applicant shall include a note on the plan which states, "All E&SC measures shall be installed and maintained per New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016".
15. The Applicant shall include a description of the proposed soil restoration procedures, consistent with Chapter 5 of the NYSDEC SMDM on the Site Plan Drawing.
16. The Applicant shall include construction sequence notes describing construction activities. The construction sequence shall specify:
  - a. Installation of erosion and sediment control practices prior to commencement of construction activities.





- b. All major construction activity milestones (i.e. proposed demolition, minor and major site grading, removal of existing structures, construction of new structures, etc.).
  - c. Temporary erosion and sediment control measures cannot be removed until site stabilization (80% uniform density of permanent vegetation or permanent mulch/stone) has been achieved.
17. The Applicant shall include a table on the drawings that quantifies the existing and proposed impervious surface coverage for the project.
  18. The Applicant shall include a note on the Site Plan which states: "Any imported topsoil shall comply with all federal, state, and local requirements for quality and use".
  19. The Applicant shall include a note on the Site Plan which states: "Off-site disposal of excess cut shall be in accordance with all federal, state, and local requirements."
  20. The Applicant shall include a note on the Site Plan for Dig Safety NY 811 which states the following: "Prior to Construction, Contractor shall locate all buried utilities to ensure that no interference exists during construction activities".
  21. The Applicant shall identify if rock removal is anticipated during construction of the proposed site plan. In the event that rock removal is expected, the Applicant shall describe the intended methodology of rock removal and provide estimates of rock quantities and duration of removal activities.

**We recommend the Applicant to schedule a brief meeting with our office to discuss this memorandum, prior to the preparation and submittal of a revised application.**

Please feel free to contact our office with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Alvaro Alfonso-Larrain".

Alvaro Alfonso-Larrain, P.E., MEng  
Assistant Consulting Town Engineer

On behalf of:

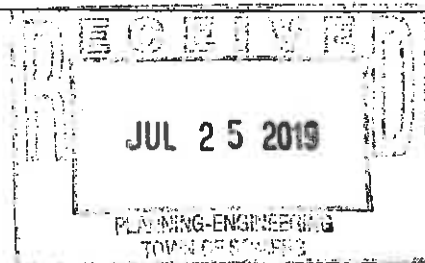
A handwritten signature in black ink, appearing to read "Joseph C. Barbagallo".

Joseph C. Barbagallo, P.E., BCEE  
Consulting Town Engineer

**JOHN KARELL, JR., P.E.**  
**121 CUSHMAN ROAD**  
**PATTERSON, NEW YORK, 12563**  
**845-878-7894 FAX 845 878 4939**  
**jack4911@yahoo.com**

July 25, 2019

Town of Somers Planning Board  
Town Hall  
335 Route 202  
Somers, New York, 10589



**Re: Wilkinson Wetlands Permit**  
**16 Annarock Drive**  
**Somers (T); TM # 28.05-1-7**

Gentlemen and Ladies:

Attached please find plans revised in accordance with comments from the Town of Somers Consultants and other regulatory agencies as follows:

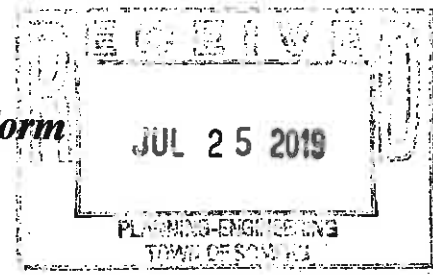
**Joseph Barbagallo, P.E., July 3, 2019**

1. Area of disturbance has been revised and exceeds 5,000 square feet, therefore a DEC Stormwater permit is required. The NOI is attached
2. NYCDEP has no permitting requirements.
3. a. A rain garden is provided to treat the increase in impervious area due to the house additions.  
b. The RRV is equal to the WQv.  
c. Maintenance requirements are provided in the SWPPP.  
d. Elevations are provided.  
e. overflow of the rain garden is provided connected to the curtain drain discharge.  
f. percolation tests are not required for a rain garden.
- 5 (no # 4) Silt fence locations are shown on the plan along with a detail.
6. Topsoil stockpile location shown along with a detail.
7. The existing gravel driveway will serve as a stabilized construction entrance.
8. Concrete washout detail and location provided.
9. Equipment will be staged in the driveway turnaround area. No significant equipment will be utilized.
10. Orange construction fencing location and detail is shown.
11. No trees are proposed to be removed.
12. Curtain drain detail provided.
13. The septic system will be upgraded in the future if after installation of the curtain drain indicates a reduction in the groundwater level in part of the septic area. Construction fencing is shown around the septic area.
14. Note added regarding State Standards.
15. Details regarding restoration of disturbed areas are provided in the SWPPP and in notes on the plans.
16. The construction sequence has been revised. Note added relative to removal of erosion control measures.
17. Impervious surfaces, existing and proposed are provided in the SWPPP
- 18.- 20. Notes added.
21. No rock removal is expected.

Very truly yours,  
John Karell, Jr., P.E.

# Short Environmental Assessment Form

## Part 1 - Project Information



### Instructions for Completing

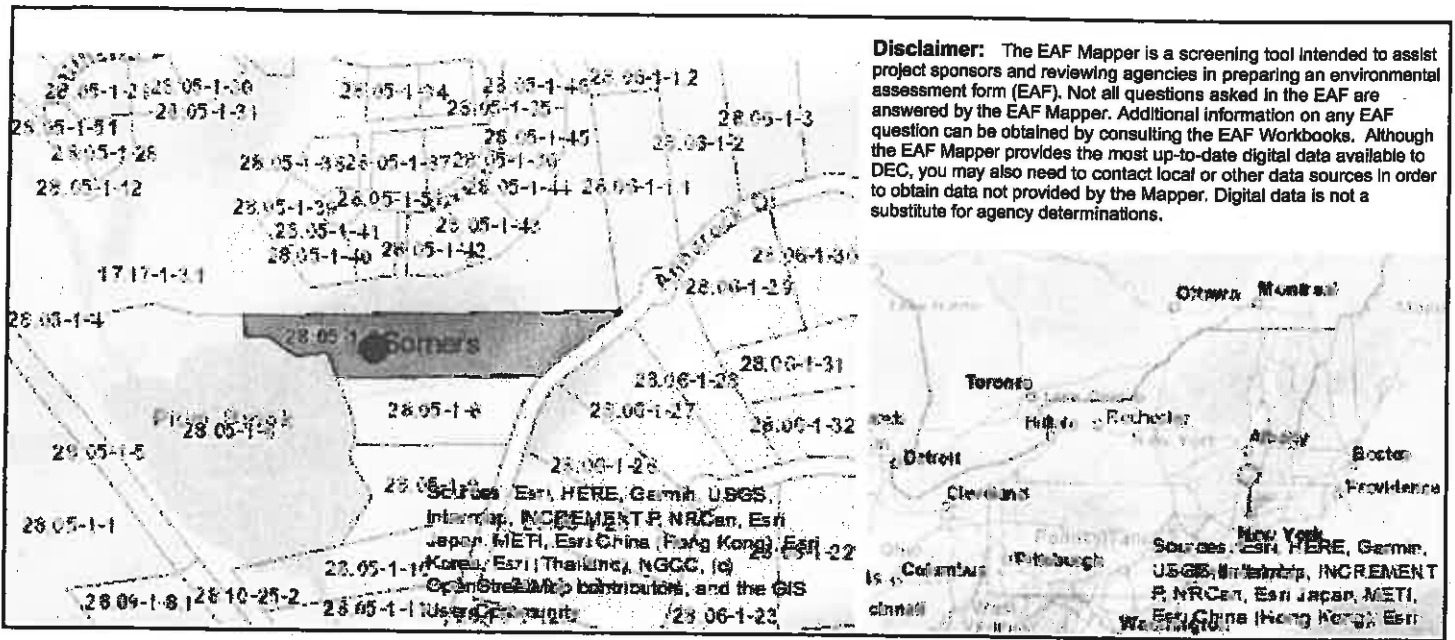
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Wilkinson House Addition			
Project Location (describe, and attach a location map): 16 Anarock Drive, Somers, New York			
Brief Description of Proposed Action: Renovations to the existing house including: First Floor: Add and office in the back (bumpout in the back, drop the raised Living room and add a utility room and laundry room (move utilities from the basement , pull the garage forward to restore room for two cars, (bumpout in the front by the driveway), move 1/2 bath, add a front porch (except in front of the garage) Second Floor: Raise roof/change roofline, increase bedrooms to 4 from 2-3, including new master Bedroom, add bonus room, reconfigure two existing bathrooms			
Name of Applicant or Sponsor: Steve Wilkinson		Telephone: 203-609-1053 E-Mail: wilkinson.sh@gmail.com	
Address: 16 Anarock Drive			
City/PO: Somers		State: NY	Zip Code: 10589
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.0 acres	
b. Total acreage to be physically disturbed?		0.2 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.0 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ existing drilled well	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ existing septic system	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	_____	
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Steve Wilkinson</u> Date: <u>April 25, 2019</u>  Signature: _____ Title: <u>owner</u>		

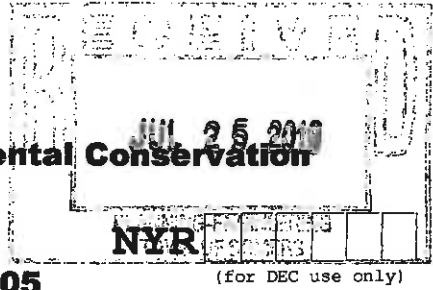


**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

NOTICE OF INTENT

New York State Department of Environmental Conservation  
Division of Water  
625 Broadway, 4th Floor  
Albany, New York 12233-3505



Stormwater Discharges Associated with Construction Activity Under State Pollutant Discharge Elimination System (SPDES) General Permit # GP-0-15-002  
All sections must be completed unless otherwise noted. Failure to complete all items may result in this form being returned to you, thereby delaying your coverage under this General Permit. Applicants must read and understand the conditions of the permit and prepare a Stormwater Pollution Prevention Plan prior to submitting this NOI. Applicants are responsible for identifying and obtaining other DEC permits that may be required.

**- IMPORTANT -**  
**RETURN THIS FORM TO THE ADDRESS ABOVE**  
**OWNER/OPERATOR MUST SIGN FORM**

Owner/Operator Information

Owner/Operator (Company Name/Private Owner Name/Municipality Name)

S T E P H E N   W I L K I N S O N

Owner/Operator Contact Person Last Name (NOT CONSULTANT)

W I L K I N S O N

Owner/Operator Contact Person First Name

S T E P H E N

Owner/Operator Mailing Address

1 6   A N N A R O C K   D R I V E

City

S O M E R S

State

N Y

Zip

1 0 5 8 9 -

Phone (Owner/Operator)

2 0 3 - 6 0 9 - 1 0 5 3

Fax (Owner/Operator)

- - - - -

Email (Owner/Operator)

W I L K I N S O N . S H @ G M A I L . C O M

FED TAX ID

- (not required for individuals)

Project Site Information

Project/Site Name

W I L K I N S O N   H O U S E   R E N O V A T I O N

Street Address (NOT P.O. BOX)

1 6   A N N A R O C K   D R I V E

Side of Street

North    South    East    West

City/Town/Village (THAT ISSUES BUILDING PERMIT)

S O M E R S

State

N Y

Zip

1 0 5 8 9 -

County

W E S T C H E S T E R

DEC Region

3

Name of Nearest Cross Street

H I G H V I W   T E R R A C E

Distance to Nearest Cross Street (Feet)

1 4 0 0

Project In Relation to Cross Street

North    South    East    West

Tax Map Numbers

Section-Block-Parcel

2 8 . 0 5 - 1 - 7

Tax Map Numbers

1. Provide the Geographic Coordinates for the project site in NYTM Units. To do this you **must** go to the NYSDEC Stormwater Interactive Map on the DEC website at:

[www.dec.ny.gov/imsmaps/stormwater/viewer.htm](http://www.dec.ny.gov/imsmaps/stormwater/viewer.htm)

Zoom into your Project Location such that you can accurately click on the centroid of your site. Once you have located your project site, go to the tool boxes on the top and choose "i"(identify). Then click on the center of your site and a new window containing the X, Y coordinates in UTM will pop up. Transcribe these coordinates into the boxes below. For problems with the interactive map use the help function.

X Coordinates (Easting)

6 0 8 5 8 9

Y Coordinates (Northing)

4 5 7 4 2 8 1

2. What is the nature of this construction project?

- New Construction
- Redevelopment with increase in impervious area
- Redevelopment with no increase in impervious area



3. Select the predominant land use for both pre and post development conditions.  
**SELECT ONLY ONE CHOICE FOR EACH**

**Pre-Development  
Existing Land Use**

- FOREST
- PASTURE/OPEN LAND
- CULTIVATED LAND
- SINGLE FAMILY HOME
- SINGLE FAMILY SUBDIVISION
- TOWN HOME RESIDENTIAL
- MULTIFAMILY RESIDENTIAL
- INSTITUTIONAL/SCHOOL
- INDUSTRIAL
- COMMERCIAL
- ROAD/HIGHWAY
- RECREATIONAL/SPORTS FIELD
- BIKE PATH/TRAIL
- LINEAR UTILITY
- PARKING LOT
- OTHER

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**Post-Development  
Future Land Use**

- SINGLE FAMILY HOME
- SINGLE FAMILY SUBDIVISION
- TOWN HOME RESIDENTIAL
- MULTIFAMILY RESIDENTIAL
- INSTITUTIONAL/SCHOOL
- INDUSTRIAL
- COMMERCIAL
- MUNICIPAL
- ROAD/HIGHWAY
- RECREATIONAL/SPORTS FIELD
- BIKE PATH/TRAIL
- LINEAR UTILITY (water, sewer, gas, etc.)
- PARKING LOT
- CLEARING/GRADING ONLY
- DEMOLITION, NO REDEVELOPMENT
- WELL DRILLING ACTIVITY \*(Oil, Gas, etc.)
- OTHER

Number of Lots

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\*Note: for gas well drilling, non-high volume hydraulic fractured wells only

4. In accordance with the larger common plan of development or sale, enter the total project site area; the total area to be disturbed; existing impervious area to be disturbed (for redevelopment activities); and the future impervious area constructed within the disturbed area. (Round to the nearest tenth of an acre.)

Total Site Area	Total Area To Be Disturbed	Existing Impervious Area To Be Disturbed	Future Impervious Area Within Disturbed Area
<input type="text" value="3"/> <input type="text" value="0"/>	<input type="text" value="0"/> <input type="text" value="2"/>	<input type="text" value="0"/> <input type="text" value="1"/>	<input type="text" value="0"/> <input type="text" value="1"/>

5. Do you plan to disturb more than 5 acres of soil at any one time?  Yes  No

6. Indicate the percentage of each Hydrologic Soil Group (HSG) at the site.

A	B	C	D
<input type="text" value=""/> <input type="text" value=""/> %	<input type="text" value="1"/> <input type="text" value="0"/> <input type="text" value="0"/> %	<input type="text" value=""/> <input type="text" value=""/> %	<input type="text" value=""/> <input type="text" value=""/> %

7. Is this a phased project?  Yes  No

8. Enter the planned start and end dates of the disturbance activities.

Start Date	End Date
<input type="text" value="1"/> <input type="text" value="0"/> / <input type="text" value="0"/> <input type="text" value="1"/> / <input type="text" value="2"/> <input type="text" value="0"/> <input type="text" value="1"/> <input type="text" value="9"/>	- <input type="text" value="1"/> <input type="text" value="0"/> / <input type="text" value=""/> <input type="text" value="1"/> / <input type="text" value="2"/> <input type="text" value="0"/> <input type="text" value="2"/> <input type="text" value="0"/>



15. Does the site runoff enter a separate storm sewer system (including roadside drains, swales, ditches, culverts, etc)?  Yes  No  Unknown

16. What is the name of the municipality/entity that owns the separate storm sewer system?

T O W N O F S O M E R S

17. Does any runoff from the site enter a sewer classified as a Combined Sewer?  Yes  No  Unknown

18. Will future use of this site be an agricultural property as defined by the NYS Agriculture and Markets Law?  Yes  No

19. Is this property owned by a state authority, state agency, federal government or local government?  Yes  No

20. Is this a remediation project being done under a Department approved work plan? (i.e. CERCLA, RCRA, Voluntary Cleanup Agreement, etc.)  Yes  No

21. Has the required Erosion and Sediment Control component of the SWPPP been developed in conformance with the current NYS Standards and Specifications for Erosion and Sediment Control (aka Blue Book)?  Yes  No

22. Does this construction activity require the development of a SWPPP that includes the post-construction stormwater management practice component (i.e. Runoff Reduction, Water Quality and Quantity Control practices/techniques)?  Yes  No  
If No, skip questions 23 and 27-39.

23. Has the post-construction stormwater management practice component of the SWPPP been developed in conformance with the current NYS Stormwater Management Design Manual?  Yes  No





**Post-construction Stormwater Management Practice (SMP) Requirements**

**Important: Completion of Questions 27-39 is not required if response to Question 22 is No.**

27. Identify all site planning practices that were used to prepare the final site plan/layout for the project.

- Preservation of Undisturbed Areas
- Preservation of Buffers
- Reduction of Clearing and Grading
- Locating Development in Less Sensitive Areas
- Roadway Reduction
- Sidewalk Reduction
- Driveway Reduction
- Cul-de-sac Reduction
- Building Footprint Reduction
- Parking Reduction

27a. Indicate which of the following soil restoration criteria was used to address the requirements in Section 5.1.6 ("Soil Restoration") of the Design Manual (2010 version).

- All disturbed areas will be restored in accordance with the Soil Restoration requirements in Table 5.3 of the Design Manual (see page 5-22).
- Compacted areas were considered as impervious cover when calculating the **WQv Required**, and the compacted areas were assigned a post-construction Hydrologic Soil Group (HSG) designation that is one level less permeable than existing conditions for the hydrology analysis.

28. Provide the total Water Quality Volume (WQv) required for this project (based on final site plan/layout).

**Total WQv Required**

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 . 

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 acre-feet

29. Identify the RR techniques (Area Reduction), RR techniques (Volume Reduction) and Standard SMPs with RRV Capacity in Table 1 (See Page 9) that were used to reduce the Total WQv Required (#28).

Also, provide in Table 1 the total impervious area that contributes runoff to each technique/practice selected. For the Area Reduction Techniques, provide the total contributing area (includes pervious area) and, if applicable, the total impervious area that contributes runoff to the technique/practice.

**Note:** Redevelopment projects shall use Tables 1 and 2 to identify the SMPs used to treat and/or reduce the WQv required. If runoff reduction techniques will not be used to reduce the required WQv, skip to question 33a after identifying the SMPs.

**Table 1 - Runoff Reduction (RR) Techniques and Standard Stormwater Management Practices (SMPs)**

<u>RR Techniques (Area Reduction)</u>	<u>Total Contributing Area (acres)</u>		<u>Total Contributing Impervious Area (acres)</u>	
<input type="radio"/> Conservation of Natural Areas (RR-1) ...				
<input type="radio"/> Sheetflow to Riparian Buffers/Filters Strips (RR-2) .....				
<input type="radio"/> Tree Planting/Tree Pit (RR-3) .....				
<input type="radio"/> Disconnection of Rooftop Runoff (RR-4) ..				
<b><u>RR Techniques (Volume Reduction)</u></b>				
<input type="radio"/> Vegetated Swale (RR-5) .....				
<input type="radio"/> Rain Garden (RR-6) .....				
<input type="radio"/> Stormwater Planter (RR-7) .....				
<input type="radio"/> Rain Barrel/Cistern (RR-8) .....				
<input type="radio"/> Porous Pavement (RR-9) .....				
<input type="radio"/> Green Roof (RR-10) .....				
<b><u>Standard SMPs with RRV Capacity</u></b>				
<input type="radio"/> Infiltration Trench (I-1) .....				
<input type="radio"/> Infiltration Basin (I-2) .....				
<input type="radio"/> Dry Well (I-3) .....				
<input type="radio"/> Underground Infiltration System (I-4) .....				
<input type="radio"/> Bioretention (F-5) .....				
<input type="radio"/> Dry Swale (O-1) .....				
<b><u>Standard SMPs</u></b>				
<input type="radio"/> Micropool Extended Detention (P-1) .....				
<input type="radio"/> Wet Pond (P-2) .....				
<input type="radio"/> Wet Extended Detention (P-3) .....				
<input type="radio"/> Multiple Pond System (P-4) .....				
<input type="radio"/> Pocket Pond (P-5) .....				
<input type="radio"/> Surface Sand Filter (F-1) .....				
<input type="radio"/> Underground Sand Filter (F-2) .....				
<input type="radio"/> Perimeter Sand Filter (F-3) .....				
<input type="radio"/> Organic Filter (F-4) .....				
<input type="radio"/> Shallow Wetland (W-1) .....				
<input type="radio"/> Extended Detention Wetland (W-2) .....				
<input type="radio"/> Pond/Wetland System (W-3) .....				
<input type="radio"/> Pocket Wetland (W-4) .....				
<input type="radio"/> Wet Swale (O-2) .....				





33. Identify the Standard SMPs in Table 1 and, if applicable, the Alternative SMPs in Table 2 that were used to treat the remaining total WQv(=Total WQv Required in 28 - Total RRv Provided in 30).

Also, provide in Table 1 and 2 the total impervious area that contributes runoff to each practice selected.

**Note:** Use Tables 1 and 2 to identify the SMPs used on Redevelopment projects.

33a. Indicate the Total WQv provided (i.e. WQv treated) by the SMPs identified in question #33 and Standard SMPs with RRv Capacity identified in question 29.

**WQv Provided**  
    .     acre-feet

**Note:** For the standard SMPs with RRv capacity, the WQv provided by each practice = the WQv calculated using the contributing drainage area to the practice - RRv provided by the practice. (See Table 3.5 in Design Manual)

34. Provide the sum of the Total RRv provided (#30) and the WQv provided (#33a).

.

35. Is the sum of the RRv provided (#30) and the WQv provided (#33a) greater than or equal to the total WQv required (#28)?  Yes  No

**If Yes, go to question 36.**  
**If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.**

36. Provide the total Channel Protection Storage Volume (CPv) required and provided or select waiver (36a), if applicable.

**CPv Required**     .     acre-feet      **CPv Provided**     .     acre-feet

36a. The need to provide channel protection has been waived because:

- Site discharges directly to tidal waters or a fifth order or larger stream.
- Reduction of the total CPv is achieved on site through runoff reduction techniques or infiltration systems.

37. Provide the Overbank Flood (Qp) and Extreme Flood (Qf) control criteria or select waiver (37a), if applicable.

Total Overbank Flood Control Criteria (Qp)

**Pre-Development**     .     CFS      **Post-development**     .     CFS

Total Extreme Flood Control Criteria (Qf)

**Pre-Development**     .     CFS      **Post-development**     .     CFS





**Owner/Operator Certification**

I have read or been advised of the permit conditions and believe that I understand them. I also understand that, under the terms of the permit, there may be reporting requirements. I hereby certify that this document and the corresponding documents were prepared under my direction or supervision. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. I further understand that coverage under the general permit will be identified in the acknowledgment that I will receive as a result of submitting this NOI and can be as long as sixty (60) business days as provided for in the general permit. I also understand that, by submitting this NOI, I am acknowledging that the SWPPP has been developed and will be implemented as the first element of construction, and agreeing to comply with all the terms and conditions of the general permit for which this NOI is being submitted.

**Print First Name**

S	T	E	P	H	E	N													
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**MI**

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**Print Last Name**

W	I	L	K	I	N	S	O	N											
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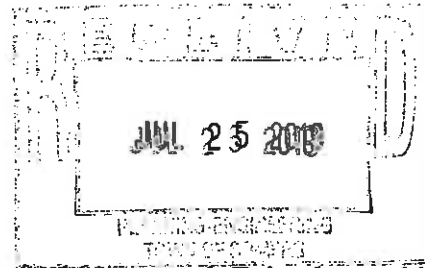
**Owner/Operator Signature**

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**Date**

	7	/		1	0	/		2	0	1	9
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## I. Background Information



### A. Project Description

1. The project site contains a single family house and cottage at 16 Annarock Drive located in the Town of Somers, Westchester County, New York.
2. The site is 3.0 acres, 130,626 square feet in size.
3. It is proposed to demolish parts of the existing house in order to renovate and expand the existing house. The purpose of this report is to address Storm Water Pollution Prevention and Management for the proposed improvements.
4. The proposed development will result in an increase in impervious area of 717 square feet due to the reconstruction of the house and 7,859 square feet of total disturbance
5. Construction will begin immediately after receiving approval from the Town of Somers of a SPPP in accordance with the provisions of the Town Code.

### B. Existing (Pre Development) Conditions

1. Topography and existing conditions are shown on the site plan. Soils on the property are classified by the Web Soil Survey as Hydrologic Soil Group B, Charlton Chatfield Complex, 15-35 % (CsD) and Charlton Fine Sandy Loam 3-8% (ChB).
2. The pre developed site consists of good lawn and residential development.

### C. Proposed future (Developed) Conditions

1. The site plan shows all proposed utilities, drainage improvements and grading.
2. The storm water from the existing rear roof and driveway will continue to sheet flow onto adjacent lawn areas. Stormwater from the rear roof will be discharged to a rain garden for treatment.
3. Construction sequences are contained in the appendix to this report and as noted on the plans.
4. The site will continue to be served by a septic system and a drilled well..

## II. Stormwater Management, Treatment and Conveyance

- A. The storm water from the existing rear roof and driveway will continue to sheet flow onto adjacent lawn areas. Stormwater from the rear roof will be discharged to a rain garden for treatment.

B. Stormwater conveyance for this project consists of High Density Polyethylene Pipe (HDPE)

### **III. Stormwater Management**

Stormwater treatment not required

### **IV. Erosion and Sediment Control**

#### **A. Temporary Erosion and Sediment Control Measures**

1. Temporary erosion and sediment control measures in the design of this project are silt fence and stabilized construction entrance. The contractor will be responsible for daily sediment cleanup on the roadway, if any. Silt fence are proposed to be installed along the downslope of all areas of disturbance as shown on the site plan, or as determined to be necessary during construction.
2. Runoff will be controlled within the project area. Bare soil areas, disturbed areas, will be seeded and mulched to control possible erosion and slow the velocity of runoff, within 7 days after ceasing activities.
3. Initial grading shall take place to install the sediment control measures. Soil stockpiles shall be stabilized away from any drainage structures or natural drainage paths. Once final grading has been achieved in any area that area shall be seeded and mulched and not redisturbed again.
4. Soil stockpiles must be protect with seeding and/or mulching as soon as possible but no longer than 7 days after ceasing activity.
5. Measures must be in place prior to disturbance of a particular area in order to prevent sediment from traveling off site. This is accomplished on this site by the proper installation of silt fence.
6. Dust shall be controlled to deep the amount of particles/sediment generation by construction activity to a minimum. This will be accomplished by seeding and mulching of disturbed areas and wetting areas prone to airborne dust.
7. All temporary and permanent sediment and erosion control measures must be checked on a weekly basis for functionality and stability. This includes the silt fencing and the stabilized construction entrance. Any bare spots in areas previously seeded will be reseeded and remulched as soon as necessary. In areas where soil erosion and sedimentation is found to be a problem and measures are not in place, appropriate measures must be installed as required by the supervising engineer.
8. Final grading shall match approximately the cut and fill lines as shown on the plans. This must be accomplished within 7 days of the end of the construction activity unless otherwise specified under the Town or DEC permits.

9. Temporary measures shall not be removed until all disturbed areas protected by such measures are fully and properly stabilized.

10. Post construction controls that must remain in place are the Storm Tech units and rain gardens. Permanent non structural measures to remain in place are re-established areas of grass and landscaping within the non pavement areas.

#### **B. Permanent Erosion Control Measures**

1. Permanent erosion control measures employed in the design of the project include stabilization of all disturbed areas with grass and the direction of storm water off impervious surfaces to the Storm Tech units and the rain gardens.

#### **V. Maintenance of Stormwater and Erosion Control Measures**

Temporary measures will be maintained by the project developer during the entire construction period. Permanent measures will be maintained by the owner of the property.

Weekly inspections shall be performed by a "qualified inspector" as required by the SPDES General Permit.

Developer:

n/a

Owner/ Applicant

Stephen Wilkinson  
16 Annarock Drive  
Somers, NY, 10589

Contractor/Subcontractor

To be determined

Trained Contractor

To be determined

#### **Contractor Certification**

Each contractor or subcontractor working on this site will be required to sign the below certification:

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the owner or operator must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore,

I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings. "

Contractor signature  
Printed name  
Name of Company  
Address  
Date

Trained Contractor signature  
Printed name  
Name of Company  
Address  
Date

## 2. Inspections

The Town of Somers SMO may require such inspections as necessary to determine compliance with this chapter at various stages in construction to examine erosion and sediment controls and SMPs. Inspections may be conducted by the Building Department or the Town's Consulting Engineer. The person conducting inspections may either approve that portion of the work completed or notify the applicant wherein the work fails to comply with the requirements of this chapter and the stormwater pollution prevention plan (SWPPP) as approved.

(1) To obtain inspections, the applicant shall notify the Town of Somers enforcement official in writing at least 48 hours before any of the following as required by the SMO:

- (a) Start of construction;
- (b) Installation of sediment and erosion control measures;
- (c) Completion of site clearing;
- (d) Completion of rough grading;
- (e) Installation of SMPs;
- (f) Completion of final grading and stabilization of disturbed areas;
- (g) Closure of construction;
- (h) Completion of final landscaping; and
- (i) Successful establishment of landscaping in public areas.

(2) If any violations are found, the applicant and developer shall be notified in writing of the nature of the violation and the required corrective actions. No further work shall be conducted except for site stabilization until any violations are corrected and all work previously completed has received approval by the SMO.

## 3. Pollution Prevention Measures for Construction Related Activities

Pollution prevention practices for preventing litter, construction chemicals (if applicable) and construction debris from becoming a pollutant source in storm water discharge include daily pickup of construction debris, inspection, designated storage areas, and physical controls such as



silt fencing and inlet protection. Inspections will also be conducted to insure that dust control measures are utilized as necessary. All maintenance work on equipment will be conducted in the staging area. This area shall be as designated by the contractor and approved by the engineer.

During construction maintenance, fuels, construction and waste materials will be stored within suitable areas/dumpsters or containers as appropriate and as approved by the engineer. This will minimize the exposure of the materials to stormwater and prevent spills. All maintenance and construction waste will be disposed of in a safe manner in accordance with all applicable regulations.

### **A. Temporary Measures**

#### **1. Construction Entrance (N/A)**

The construction entrance shall be the existing driveway. It will be maintained in a condition which will prevent tracking or flowing of sediment onto the public right of way. This will require periodic sweeping and washing down as conditions demand based on daily inspections. All sediment spilled, dropped, washed or tracked onto public rights of way must be immediately removed.

#### **2. Silt Fence**

Silt fence is proposed down gradient from all disturbed areas proposed on the site. Silt fence is used to collect the transported sediment load due to runoff and to slow said runoff, in an effort to prevent erosion. The silt fence is a temporary barrier of geotextile fabric supported by fence posts at a 10 foot maximum interval.

Sediments shall be removed from behind the fence when it becomes 0.5 feet deep at the fence. It should also be inspected regularly, at least once a week and repaired as needed to maintain a barrier.

### **B. Permanent Measures**

#### **1. HDPE Pipe**

Maintenance need is fairly low for HDPE pipe. Inspection shall be carried out after major storm events or once every year. If pipe is clogged or damaged, repair must be made immediately.

#### **2. Permanent vegetation**

All grassed areas shall be maintained to provide a vegetative cover to hold soils in place.

#### **3. Rain Gardens and Settling Basins**

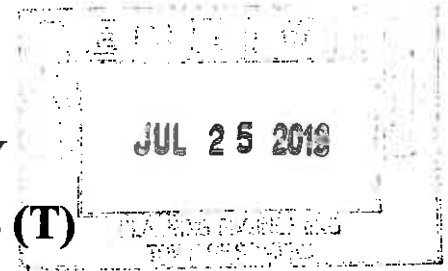
Invasive species shall be removed from the rain gardens as necessary but at least once per year in the early summer.

The settling basins shall be inspected once per year for accumulated solids. Accumulated solids shall be removed when the inspection indicates one half of the basin volume has been reached.

## **VI. Conclusions**

In conclusion, the proposed project shall not result in any negative impact to existing hydrologic condition at the vicinity of the property and proposed storm water management practices conforms to NYSDEC Storm water Management Design Manual. In addition, the design of all storm water management practices meets the requirements of the Town of Somers.

**DRAINAGE STUDY**  
**Wilkinson, 16 Annarock Drive, Somers (T)**  
July 11, 2019



**IMPERVIOUS SURFACES**  
(all values in square feet)

**EXISTING**

Screened porch	160
Roof over slate platform rear	190
Stone walk rear	100
Stone patio rear	132
Stone walk front	230
Stone walk front	110
Brick retaining wall	87
House	1879

Total 2888

**PROPOSED**

House	1879
Screened porch	210
Addition rear	288
Front addition	880

Total 3257

**INCREASE IN IMPERVIOUS SURFACES 369**

**RAIN GARDEN DESIGN**

Treatment area; 1000 square feet at 100% impervious

Rain garden section: 12" soil (0.2 porosity), 6" drainage layer (0.4 porosity, 8" ponding depth 6"

Design storm: 2.4" of rainfall

Proposed Rain Garden Area : 224 square feet

$$WQV = (\text{Rainfall in inches})(0.05 + (0.009)(\% \text{ impervious}))(\text{treatment area})/12$$

$$WQV = (2.4)(0.05 + (0.009)(100))(1000)/12$$

$$WQV = 190 \text{ cf}$$

$$\text{Soil Volume} = (224 \text{ sq ft})(1 \text{ ft})(0.20) = 44 \text{ cf}$$

$$\text{Drainage Layer Volume} = (224 \text{ sq ft})(0.5 \text{ ft})(0.40) = 44 \text{ cf}$$

$$\text{Ponding volume} = (224 \text{ sq ft})(0.5 \text{ ft}) = 112 \text{ cf}$$

$$\text{Total Treatment Volume} = 44 + 44 + 112 = 200 \text{ cf} > 190 \text{ cf}$$

**A rain garden will be provided at 20 x 12 ft (240 sf) to treat the increased impervious area.  
The rain garden will have a design treatment volume of 200 cubic feet.**

JUL 25 2019

**STEPHEN WILKINSON, 16 ANNAROCK DRIVE, SOMERS (T)  
STORMWATER POLLUTION PREVENTION PLAN  
SEQUENCE OF CONSTRUCTION**

The following are sequence and methods of construction for the renovation of an existing single family house and construction of a curtain drain on property owned by Stephen Wilkinson, Somers, Westchester County, New York. Erosion and sediment control measures are incorporated into the construction program. Construction of this project will be in one phase.

Proposed erosion and sediment control methods are found on the Site Plan. The erosion controls are designed in accordance with the State of New York, "Guidelines for Urban Erosion and Sediment Control".

The project is expected to start in the Fall of 2019 and continue over a 6 month year period.

**A. General Construction Notes**

1. The site shall be disturbed only when and where necessary. Only the smallest practical area of land shall be exposed at any one time during development. When land is exposed, the exposure shall be kept to the shortest practical period of time by immediate stabilization per the stabilization notes, unless specified otherwise. All disturbed areas that are seeded with appropriate seed mixture and procedure are considered stabilized when 80% of the vegetation is achieved.
2. Where ever feasible, natural vegetation shall be retained and protected.
3. The contractor shall inspect all erosion and sediment control devices during all storm events, prior to weekends and prior to all forecasted storm events.
4. The Contractor shall grade and provide stabilization of newly graded and disturbed areas per item 7 of this sequence.

**B. Construction Sequence**

1. Install erosion control measures, including but not limited to silt and construction fencing prior to start of construction activities.
2. Demolish existing structures.
3. Begin house reconstruction
4. Topsoil, seed and mulch all disturbed areas in accordance with the stabilization notes.
5. Temporary erosion control devices shall be maintained and removed after establishment of final site stabilization and Town signature on the project Notice of Termination (NOT). Stabilization shall be considered 80% uniform density of permanent vegetation or permanent mulch/stone.
6. Contractor to perform final site clean up and dispose of all debris properly.

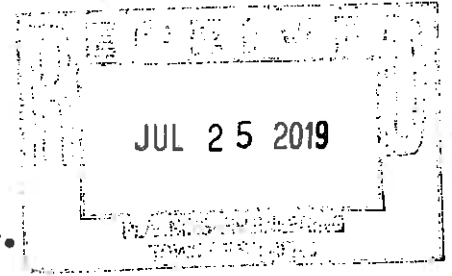
**7. STABILIZATION NOTES**

- A. Grade to finished slopes
- B. Soils shall be scarified.
- C. Topsoil with not less than four inches of suitable topsoil material
- D. Seed as follows:

Spring/Fall Planting: Tall fescue	100
Kobe Gespedza	10
Bahi Grass	25
Rye Grass	40

Temporary Summer Planting	
German Millet	40

All above units in lbs/sc



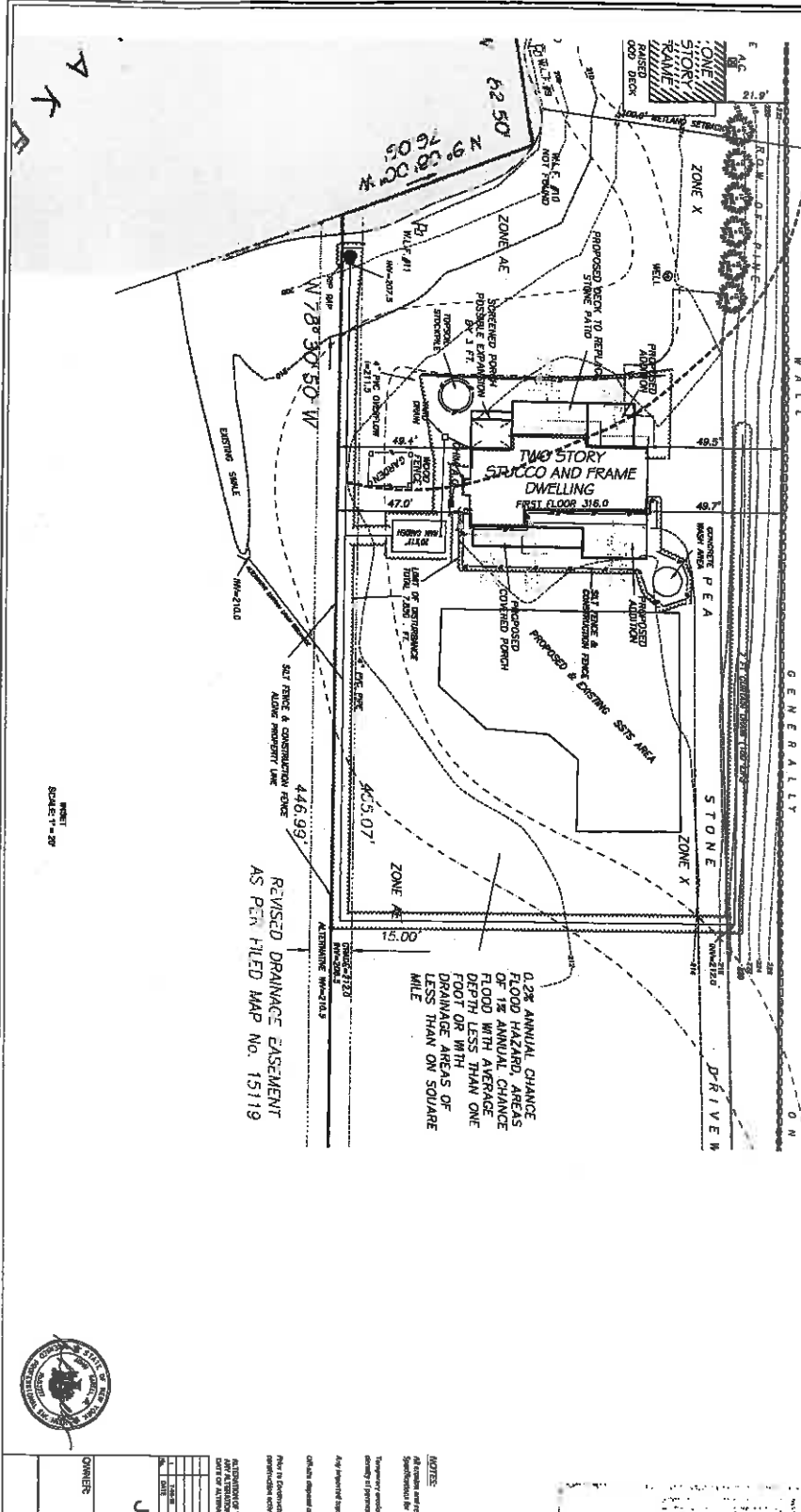
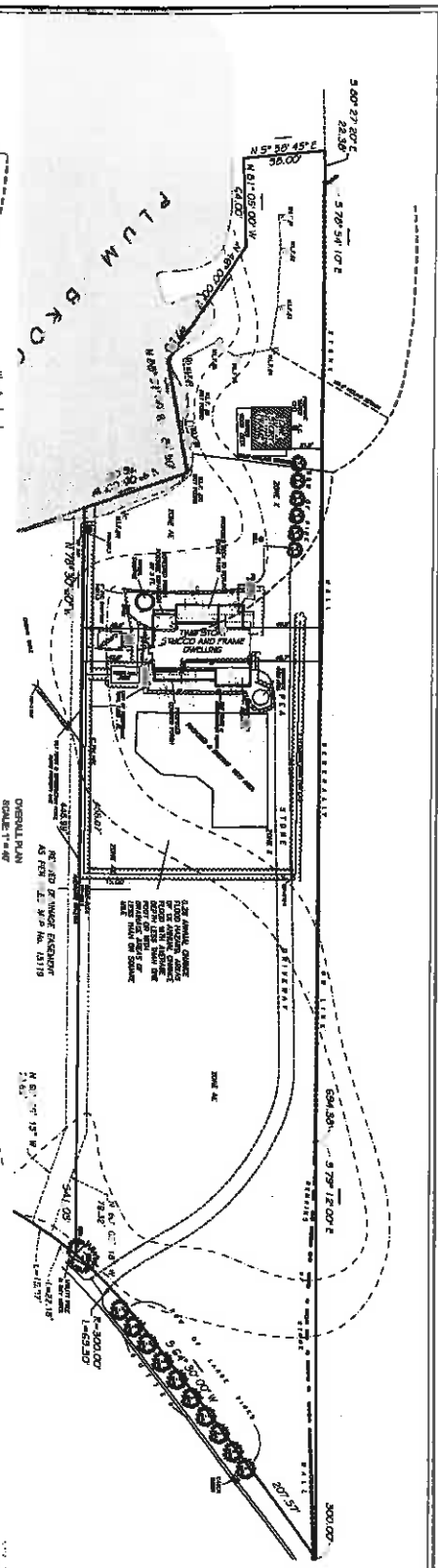
**JOHN KARELL, JR., P.E.**  
**121 CUSHMAN ROAD**  
**PATTERSON, NEW YORK, 12563**  
**845-878-7894 FAX 845 878 4939**  
**jack4911@yahoo.com**

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**STORMWATER POLLUTION PREVENTION PLAN**  
**&**  
**INFILTRATION STUDY**

**Stephen Wilkinson**  
**16 Annarock Drive**  
**Somers (T)**

**July 13, 2019**



REVISED DRAINAGE EASEMENT  
AS PER FILED MAP NO. 15119

0.2% ANNUAL CHANCE  
FLOOD HAZARD AREAS  
OF 1% ANNUAL CHANCE  
FLOOD WITH AVERAGE  
DEPTH LESS THAN ONE  
FOOT OR WITH  
DRAINAGE AREAS OF  
LESS THAN ONE SQUARE  
MILE

SCALE 1" = 20'

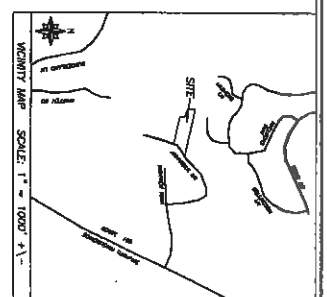


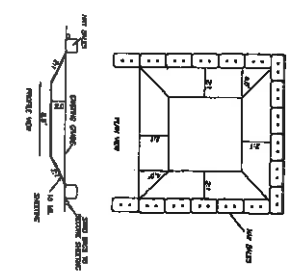
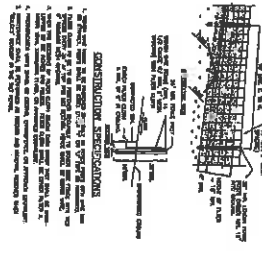
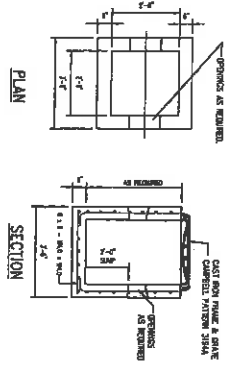
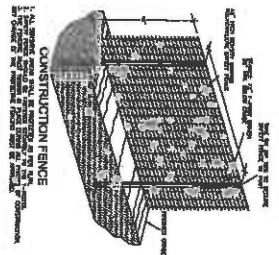
OWNERS		SCALE	
STEPHEN W. ANDRON 18 ANNAPOLIS DRIVE ROCKERS, NY		AS SHOWN	
DATE		SHEET NO.	
APRIL 23, 2019		5-1	
SITE PLAN		DATE	
2019-11		2019-11	

**JOHN KARELL, JR. P.E.**  
121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12863

NOTES:  
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
2. THE PROPOSED DWELLING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
3. THE PROPOSED PORCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
4. THE PROPOSED DRIVEWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
5. THE PROPOSED SETBACKS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
6. THE PROPOSED DRAINAGE EASEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
7. THE PROPOSED DRAINAGE EASEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
8. THE PROPOSED DRAINAGE EASEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).

JUL 25 2019



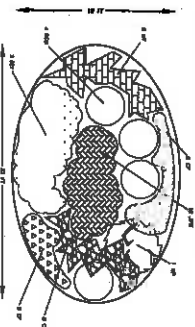
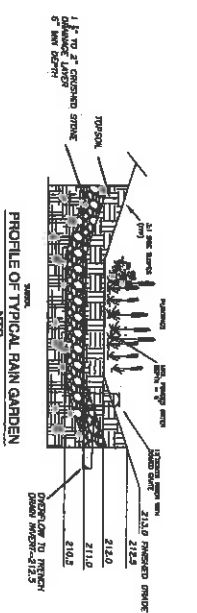
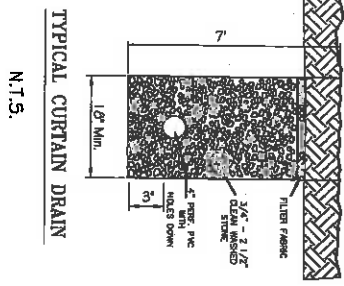


1. CONCRETE SUPPORT POSTS TO BE SPACED AT 10' ON CENTER FOR ALL PORTIONS OF THE FENCE EXCEPT WHERE INDICATED OTHERWISE.

2. CONCRETE SUPPORT POSTS TO BE 4" DIA. WITH A MINIMUM OF 12" DIA. AT THE TOP AND BOTTOM.

3. CONCRETE SUPPORT POSTS TO BE 4" DIA. WITH A MINIMUM OF 12" DIA. AT THE TOP AND BOTTOM.

4. CONCRETE SUPPORT POSTS TO BE 4" DIA. WITH A MINIMUM OF 12" DIA. AT THE TOP AND BOTTOM.



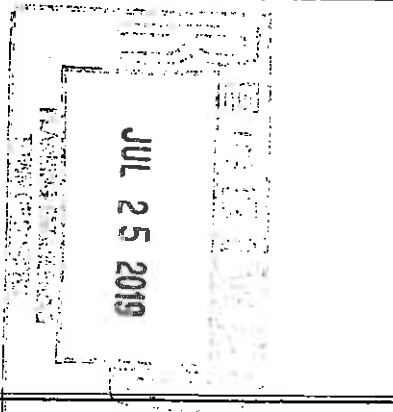
NO.	PLANT NAME	PLANT TYPE	PLANT SIZE	PLANT QUANTITY
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...
4	...	...	...	...
5	...	...	...	...
6	...	...	...	...
7	...	...	...	...
8	...	...	...	...
9	...	...	...	...
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JOHN KARREL, JR. PE  
 121 CUSHMANN ROAD  
 PATTERSON, NEW YORK 12563

OWNER: STEPHEN VAN NUNEN  
 18 AHWANOCK DRIVE  
 RAMAPUS, NJ

SCALE: 1" = 20'

DATE: APRIL 23, 2019

TITLE: DETAILS

SHEET NO: D-1



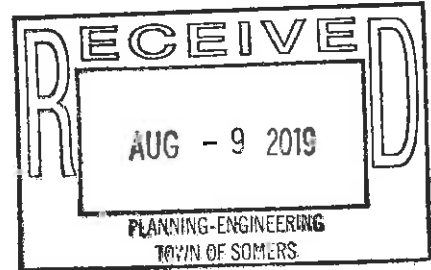
**COMMITMENT & INTEGRITY  
DRIVE RESULTS**

Woodard & Curran Engineering P.A.P.C.  
300 Westchester Avenue | Suite N507  
Rye Brook, New York 10573  
www.woodardcurran.com

T 800.307.4080  
T 914.448.2268  
F 914.448.0147

## MEMORANDUM

**TO:** Town of Somers Planning Board  
**CC:** Marilyn Murphy, Planning Board Secretary  
**FROM:** Joseph C. Barbagallo, P.E., BCEE  
**DATE:** August 9, 2019  
**RE:** Wilkinson - 16 Annarock Drive  
Wetland Permit Approval  
TM: 28.05-1-7



### GENERAL

The purpose of this memorandum is to provide the Planning Board with a summary of our comments related to the review of the Application for a Wetland Permit that has been submitted for 16 Annarock Drive in Somers, New York.

The application proposes the expansion and renovation of the existing residence and the construction of a curtain drain. The project site is located within the East of Hudson watershed and a portion of the proposed work will occur within the 500-year flood plain. A portion of the proposed curtain drain will occur within the 100-year flood plain.

This review focused on the engineering design and the associated Town Code requirements in accordance with the following:

- Town of Somers Code, Chapter 93: *Stormwater Management and Erosion and Sediment Control*, and other sections, as applicable.
- *New York State (NYS) Standards and Specifications for Erosion and Sediment Control*, dated November 2016.
- *New York State Department of Environmental Conservation's (NYSDEC's) Stormwater Management Design Manual (SMDM)*, dated January 2015.

### DOCUMENTS REVIEWED

- Cover Letter, "Re: *Wilkinson Wetlands Permit, 16 Annarock Drive, Somers (T); TM # 28.05-1-7*," prepared by John Karell, Jr. P.E., dated July 25, 2019.
- "*Short Environmental Assessment Form*", by Stephen Wilkinson, dated April 25, 2019.
- Notice of Intent, prepared by John Karell, dated July 10, 2019.
- Report, "*Stormwater Pollution Prevention Plan & Infiltration Study*," prepared by John Karell, Jr. P.E., dated July 13, 2019.



- Drawing, "Stephen Wilkinson, 16 Annarock Drive, Somers (T)", prepared by John Karell, Jr. P.E.,

Sheet Number	Sheet Name	Dated	Last Revised
S-1	Site Plan	04/23/19	07/16/19
D-1	Details	04/23/19	07/16/19

## PERMITS AND APPROVALS REQUIRED

- Town of Somers Planning Board: Stormwater Management and Erosion and Sediment Control Permit
- NYSDEC: SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002) \*
- Town of Somers Planning Board: Wetland and Water Course Protection Permit
- NYCDEP: SWPPP Approval\*\*

\*If the limits of disturbance are greater than or equal to 5,000 square feet

\*\*Based on NYCDEP determination

## DISCUSSION

The following is a summary of our comments at this time. The status of previously provided review comments is shown below in **bold font**. It should be noted that further comments may be provided upon review of additional information.

1. The Applicant has quantified the proposed limits of disturbance in the Short EAF as 0.1 acres (approximately 4,356 square feet). The Applicant shall delineate the proposed limits of disturbance on the Site Plan Drawing. **Partially Addressed. The Applicant has revised the plans indicating that the limits of disturbance are approximately 7,850 square feet. Based on our area takeoff, the limits of disturbance were greater (approx. 8,700 square feet). The Applicant shall confirm that the limits of disturbance shown on the plans are correct.**
  - a. If the limits of disturbance are greater than or equal to 5,000 square feet, then the Applicant shall provide a Stormwater Pollution Prevention Plan (SWPPP) which complies with the requirements of Section 93-6(A)(1) of the Town Code for review and acceptance by the Consulting Town Engineer. **Partially Addressed. The Applicant has provided a Stormwater Pollution Prevention Plan & Infiltration Study report with the current submittal. The Applicant shall revise the report as follows:**
    - i. The Applicant shall revise Note #4 in *Project Description* of the report to ensure that the total increase in impervious area and total disturbance



- are consistent with the plans and the area takeoffs provided in the calculations.
- ii. The Applicant shall provide installation, inspection, and maintenance requirements for the proposed concrete washout area in the report.
  - iii. Based on the plans, the Applicant has provided a new catch basin upstream of the rain garden. The Applicant shall provide inlet protection for the new structure and shall update the report to include installation, inspection, and maintenance requirements for the inlet protection. The Applicant shall also provide a detail on the plans.
  - iv. The Applicant has indicated in the cover letter that a stabilized construction entrance will not be required during construction since the existing driveway will be used. The Applicant shall revise the report to remove references to stabilized construction entrances and shall clarify that the existing driveway will be cleaned after the work-day to prevent sediment migration.
  - v. The Applicant shall revise the report to remove all references to stormtech units.
  - vi. The Applicant shall revise Note #3 of the Construction Sequence to specify which areas of the house will be reconstructed or added.
- b. If the limits of disturbance are greater than or equal to 5,000 square feet, then the Applicant shall provide a draft Notice of Intent and MS4 SWPPP Acceptance Form to obtain coverage under NYSDEC General SPDES Permit (GP-0-15-002). **Partially Addressed. The Applicant shall provide a draft MS4 SWPPP Acceptance form. The Applicant has provided an NOI with this submission. The following revisions shall be made to the NOI:**
- i. Revise Question #4 to indicate the correct area quantities consistent with the plans and the area takeoffs provided in the *Stormwater Pollution Prevention Plan & Infiltration Study* report.
  - ii. According to the United States Department of Agriculture Web Soil Survey, the site is predominantly classified as hydrologic soil group A/D. The Applicant shall revise Question #6 accordingly or shall provide documentation that the site is defined as hydrologic soil group B.
  - iii. Revise Question #26 to include rock outlet protection under Permanent Structural and storm drain inlet protection under Temporary Structural.
- c. Once the final limits of disturbance have been clarified, the Applicant shall update all necessary application documents to reflect the actual limits of disturbance. **The Applicant shall ensure that the limits of disturbance quantified on the plans and presented in the *Stormwater Pollution Prevention & Infiltration Study* report are consistent.**



2. The Applicant shall furnish a determination from New York City Department of Environmental Protection (NYCDEP) for any permit/approval that may be required. **Partially Addressed. The Applicant shall verify whether NYCDEP approval is required for the proposed expansion of the septic area.**
3. The Applicant shall provide a stormwater management feature (i.e. rain garden, bioretention facility, etc.) to mitigate potential negative environmental impacts to the wetlands from the proposed site improvements. The stormwater management feature shall be designed in accordance with the NYSDEC SMDM.

The following comments relate the implementation of a proposed stormwater management feature for the proposed site improvements: **Partially Addressed. The Applicant has provided a 12-foot x 20-foot rain garden which is proposed to treat 1,000 square feet of the rear roof area of the proposed residence. It appears that pretreatment for the system will be provided by a 2-foot sump in the upstream yard drain. The Applicant shall address the following comments.**

- a. The Applicant shall provide Water Quality Volume (WQv) calculations and demonstrate that the proposed stormwater management feature has been sized to treat the required WQv. **Partially Addressed. The Applicant is proposing a 240 square foot rain garden to treat 1,000 square feet of rear roof area. However, based on the site walk with the Planning Board, it was determined that the proposed rain garden would need to be sized to treat half of the house and the proposed additions in the rear. Therefore, the Applicant shall consider redesigning the rain garden with bioretention elements or shall consider adding another rain garden for the increased surface area to be treated. The Applicant shall revise the plans and calculations accordingly.**
- b. The Applicant shall demonstrate that the proposed stormwater management feature is satisfying the minimum Runoff Reduction Volume (RRv) requirement for the proposed site improvements. **Partially Addressed. The Applicant has indicated that the entire RRv is addressed by providing treatment for the WQv. However, according to the NYSDEC SMDM, only rain gardens without underdrains in "good soils" can reduce the total WQv. Those constructed on poor soils can only achieve up to 40% reduction of the WQv. The Applicant shall demonstrate that the rain garden is to be constructed on good soils.**
- c. The Applicant shall provide installation/inspection/maintenance requirements for the proposed stormwater management feature. **Partially Addressed. The Applicant shall provide inspection requirements for the proposed rain garden. The Applicant shall also update the Construction Sequence to include the construction of the rain garden.**



- d. The Applicant shall provide system elevations for the proposed stormwater management feature. **Partially Addressed. The following comments are related to the proposed layout and provided detail for the rain garden:**
    - i. The Applicant shall include the invert, size, and material of the inlet pipe to the rain garden.
    - ii. The Applicant shall revise the detail to indicate that the proposed ponding depth is 6 inches (at El. 212.5). The top of the riser does not appear to be flush with the callout for El. 212.5 in the detail.
    - iii. The Applicant shall ensure that the proposed rain garden is located at least 10 feet downgradient from the basement foundation.
  - e. The Applicant shall design an outlet/overflow mechanism for the proposed stormwater management feature. **Partially Addressed. The following comments are related to the proposed overflow for the rain garden:**
    - i. The Applicant shall ensure that the invert of the overflow pipe to the trench drain shown on the detail (El. 212.5) is consistent with the callout provided on the Site Plan (El. 211.5). The Applicant shall provide the diameter and material for the proposed pipe. Note that the plan includes a callout for a 4-inch PVC pipe which is not consistent with the report which indicates that drainage piping is HDPE.
    - ii. The Applicant shall provide a detail for the proposed rock outlet protection and shall provide sizing calculations per the NYS Standards and Specifications for Erosion and Sediment Control.
  - f. The Applicant shall provide deep and percolation tests to support the feasibility of the proposed stormwater management feature. **Not Addressed. The Applicant shall demonstrate that the rain garden is to be constructed in good, draining soils so that the entire WQv is reduced.**
5. The Applicant shall provide a silt fence detail and shall indicate the location of the silt fence on the Site Plan. **Partially Addressed. The Applicant shall revise the plans to show silt fence to the south downgradient of the proposed rain garden and the curtain drain. The Applicant shall also remove the silt fence on the eastern side of the dwelling which would interfere with the construction of the proposed addition.**
  6. The Applicant shall provide a soil stockpile detail and shall indicate the location on the Site Plan. **Addressed.**
  7. The Applicant shall provide a stabilized construction entrance detail and shall indicate the location on the Site Plan. If the existing driveway is to be used, the Applicant shall indicate how the driveway will be cleaned/maintained to prevent off-site sediment migration from tracking. **Addressed.**



8. The Applicant shall provide a concrete washout area detail and shall indicate the location on the Site Plan. **Addressed.**
9. The Applicant shall show the intended location of the equipment staging area on the Site Plan. **Addressed. The Applicant has indicated that the staging area will be designated by the contactor and approved by the engineer.**
10. The Applicant shall provide a typical construction detail for orange construction fencing to be used on-site and shall indicate the location on the Site Plan. **Addressed.**
11. Based on aerial photography, it appears that existing trees are located within the area of the proposed work. The Applicant shall indicate which trees are proposed to be removed or protected during construction. If any trees are to be protected, the Applicant shall provide a tree protection detail on the Site Plan. **Partially Addressed. The Applicant has indicated that no trees are proposed to be removed. The Applicant shall clarify if any trees will need to be protected during construction. If so, a tree protection detail shall be provided on the plans.**
12. The Applicant shall include a construction detail for the proposed curtain drain on the plans. **Addressed.**
13. The Applicant shall clarify the "proposed" portion of the SSTS area shown on the site plan. If applicable, the Applicant shall revise the plans to show protective markers or construction fence surrounding the proposed septic absorption field limits to prevent over-compaction by equipment tracking during construction. **Partially Addressed. The Applicant has indicated that the septic system will be upgraded in the future if the curtain drain successfully lowers the groundwater elevation in the location of the proposed expansion. The Applicant shall note that the construction of the new building additions will be approved by the Town after Westchester County Department of Health approval has been received on the proposed expansion to the existing septic area.**
14. The Applicant shall include a note on the plan which states, "All E&SC measures shall be installed and maintained per New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016". **Addressed.**
15. The Applicant shall include a description of the proposed soil restoration procedures, consistent with Chapter 5 of the NYSDEC SMDM on the Site Plan Drawing. **Partially Addressed. The Applicant has provided seeding guidelines in this submission. The Applicant shall provide seeding requirements consistent with the reference listed in this comment.**
16. The Applicant shall include construction sequence notes describing construction activities. The construction sequence shall specify:



- a. Installation of erosion and sediment control practices prior to commencement of construction activities. **Addressed.**
  - b. All major construction activity milestones (i.e. proposed demolition, minor and major site grading, removal of existing structures, construction of new structures, etc.). **Partially Addressed. The Applicant shall clarify when the rain garden is proposed to be constructed.**
  - c. Temporary erosion and sediment control measures cannot be removed until site stabilization (80% uniform density of permanent vegetation or permanent mulch/stone) has been achieved. **Addressed.**
17. The Applicant shall include a table on the drawings that quantifies the existing and proposed impervious surface coverage for the project. **Addressed.**
  18. The Applicant shall include a note on the Site Plan which states: "Any imported topsoil shall comply with all federal, state, and local requirements for quality and use". **Addressed.**
  19. The Applicant shall include a note on the Site Plan which states: "Off-site disposal of excess cut shall be in accordance with all federal, state, and local requirements." **Addressed.**
  20. The Applicant shall include a note on the Site Plan for Dig Safely NY 811 which states the following: "Prior to Construction, Contractor shall locate all buried utilities to ensure that no interference exists during construction activities". **Addressed.**
  21. The Applicant shall identify if rock removal is anticipated during construction of the proposed site plan. In the event that rock removal is expected, the Applicant shall describe the intended methodology of rock removal and provide estimates of rock quantities and duration of removal activities. **Addressed. The Applicant has indicated that no rock removal is expected during construction. If rock is encountered during construction, the Applicant shall provide the intended rock removal methodology to the Engineering Department for review.**
  22. The Applicant shall provide a draft stormwater maintenance agreement for the proposed rain garden.
  23. The Applicant shall provide a pipe trench detail on the plans.
  24. The Applicant shall remove references to the *New York Guidelines for Erosion and Sediment Control (2005)* from the plans and the Construction Sequence.



**We recommend the Applicant to schedule a brief meeting with our office to discuss this memorandum, prior to the preparation and submittal of a revised application.**

Please feel free to contact our office with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Alvaro Alfonzo-Larrain".

Alvaro Alfonzo-Larrain, P.E., MEng  
Assistant Consulting Town Engineer

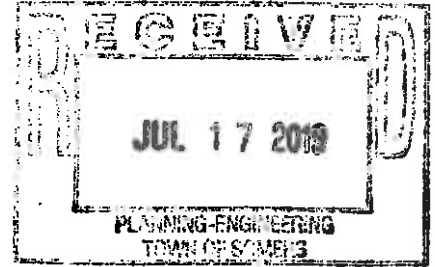
On behalf of,

A handwritten signature in black ink, appearing to read "Joseph C. Barbagallo".

Joseph C. Barbagallo, P.E., BCEE  
Consulting Town Engineer



July 15, 2019

Town of Somers Planning Board  
335 Route 202  
Somers, NY 10589

Attn: Mr. John Currie, Chairman

Re: Application for Preliminary Subdivision Approval  
Cobbling Rock Estates  
22 Dr. Tony's Road  
Sec.: 37.19 Block: 1 Lot: 1

Dear Chairman Currie and Members of the Board:

In connection with an application for Preliminary Subdivision Approval at the above referenced property please find enclosed the following items:

- 11 Sets – Project Drawings (5 sheets), prepared by Bibbo Associates, LLP dated 07-15-19.
- 11 Sets – Reduced Size (11"x17") Project Drawings.
- 11 copies – Property Survey, prepared by H Stanley Johnson and Company Land Surveyors, P.C., dated 03-07-19.
- 11 copies – Application for Steep Slopes Permit, dated 07-08-19.
- 11 copies – Application for Preliminary Subdivision Approval, dated 07-08-19.
- 11 copies – Environmental Assessment Form, dated 07-15-19.
- 11 copies – Owner Affidavit, dated 04-27-19.
- 11 copies – Application Processing Restrictive Law Form, dated 07-08-19.
- 11 copies – Applicant Acknowledgement, dated 07-08-19.
- 1 copy – Letter of Authorization from Property Owner.
- 1 copy – Proof of Taxes Paid
- 1 copy – Description of Property prepared by H. Stanley Johnson and Company Land Surveyors, P.C.
- 1 copy – List of Property Owners within 100' of project site.
- 5 CD's containing PDF files of above listed items.
- 2 USB Flash Drives containing PDF Files of above listed items.
- 1 check – \$ 30,000 – Escrow Deposit. Check # 111348
- 1 check – \$ 4,850 – Combined Steep Slopes, Stormwater, Environmental Fee. Check # 111350
- 1 check – \$ 3,600 – Preliminary Subdivision Application Fee. Check # 111349

The above identified application is for Preliminary Subdivision Approval in connection with a proposed 9-lot subdivision at the subject property. The parcel to be subdivided is located within the R-120 zoning district and is currently undeveloped.

*Site Design ♦ Environmental*

The proposed subdivision includes the construction of two (2) town roads to provide access to the individual lots, which are proposed to be served by individual drilled wells and septic systems. All stormwater runoff from the proposed impervious surfaces associated with the development will be captured and treated in accordance with all applicable codes, and a Stormwater Pollution Prevention Plan (SWPPP) will be included in future submissions for review.

We respectfully request this matter be placed on your next available agenda for your review. Should you have any questions or require any additional information please feel free to contact our office.

Very Truly Yours,

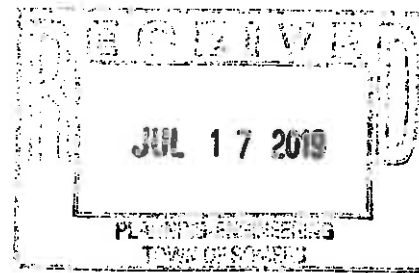


Matthew J. Gironda, P.E.  
Senior Engineer

MJG/mg  
Enclosures

cc: V. Andriano (w/enclosures)

TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
APPLICATION FOR ENVIRONMENTAL PERMIT  
CHAPTER 148 "STEEP SLOPE PROTECTION"



APPLICATION FEE:

Alteration of Steep Slopes: \$150.00 minimum fee plus \$75.00 per 10,000 S.F. of regulated area or proposed portions thereof to be disturbed.

OWNER: WITTMANN FAMILY TRUST Tel. #: (914) 232-5968

Mailing Address: 9 DR. TONY'S ROAD

APPLICANT: VITO ANDRIANO Tel. #: 914-804-6548

Mailing Address: 18 DR. TONY'S ROAD, KATONAH NY 10536

State authority: \_\_\_\_\_ If other than owner, authorization must be submitted in writing.

Premises: Sheet: 37.A Block: 1 Lot: 1

Situated on the South side of COBBINS ROCK DR. (Street) 100' feet from the intersection of WITTMANN DR. (Street)

Description of Work and Purpose: PROPOSED 9 LOT SUBDIVISION

Estimated Quantity of Excavation: \_\_\_\_\_ C.Y. \_\_\_\_\_ CUT \_\_\_\_\_ FILL \_\_\_\_\_

Size of Activity Area: 8.5 AC +/-

Total Value of Work: \_\_\_\_\_

Slope Category: 15% < 25%  25% < 35%  or > 35%: \_\_\_\_\_

Soil Types: \_\_\_\_\_

Proposed Starting Date: \_\_\_\_\_ Proposed Completion Date: \_\_\_\_\_

Plans Prepared by: DiStefano Assoc., LLP Dated: \_\_\_\_\_

**\*\* Plans must be submitted with application. \*\***

List of Applicable County, State, or Federal Permits:

List of Property Owners of Record of Lands and Claimants of Water Rights within 100 feet of Subject Property.

NAME	ADDRESS	BLOCK	LOTS

OWNER  
 Applicant's Signature: [Signature] Date: 4/27/19  
 Applicant's Signature: [Signature] Date: 7/8/19  
 APPLICANT

**\*APPLICATION MUST BE ACCOMPANIED WITH A COMPLETED ENVIRONMENTAL ASSESSMENT FORM, COMPLETE PLANS FOR LOT IMPROVEMENTS, AND LOCATION AND SIZE OF SLOPE CATEGORIES.**

.....Office Use Only.....

Administrative Permit: \_\_\_\_\_  
 Planning Board Permit: \_\_\_\_\_

SOMERS PLANNING BOARD

APPLICATION FOR PRELIMINARY APPROVAL OF SUBDIVISION

Application Processing Affidavit must also be signed. Please click here for form.

I. IDENTIFICATION OF APPLICANT:

A. OWNER: WHITMAN FAMILY TRUST SUBDIVIDER: VITO ANDRIANO  
 ADDRESS: 9 DR. TONY'S ROAD ADDRESS: 18 DR. TONY'S ROAD  
SOMERS, NY 10589 KATONAH, NY 10536  
 TELE #: (914) 232-5968 TELE #: 914-804-6548  
 B. SURVEYOR: H. STANLEY JOHNSON TELE #: 914-241-3892  
 ENGINEER: BISBO ASSOCIATES, LLP TELE #: 914-277-5805

II. IDENTIFICATION OF PROPERTY:

A. Subdivision identifying Title: COBBLING ROCK ESTATES  
 B. Street abutting property: COBBLING ROCK DR. & DR. TONY'S ROAD  
 C. Tax Map Designation: Sheet: 37.17 Block: 1 Lot: 1  
 D. Zoning District: R-120  
 E. Project ~~(does)~~ (does not) connect directly into (State) (County) highway.  
 F. Proposed drainage ~~(does)~~ (does not) connect directly into channel lines established by the County Commission of Public Works.  
 G. Project site ~~(is)~~ (is not) within 500 feet of Town boundary.  
 H. Affected Wetland Area: N/A Wetland Buffer Area: N/A  
 I. Affected Steep Slope Areas: 15% - 25%: 70,000 sq ft Over 25%:  
 J. Total area of property in acres: 39 ACRES

III. APPLICABLE FEES PAID:

By certified check payable to Town of Somers  
~~Abbreviated Procedure fee of \$250.~~ Date Paid: N/A  
 Preliminary Subdivision Plat is \$400 per lot Date Paid: \$3,600.00  
 Number of lots: 9 Date Paid:  
~~Wetland Permit Fee: \$200 min. fee + \$100 per 5,000 s.f. of regulated area or proposed portions to be disturbed.~~  
 Steep Slope Permit Fee: \$150 min. fee + \$75 per 10,000 s.f. of regulated area or proposed portions to be disturbed.  
 Total Fee: \$ Date Paid:

IV. DOCUMENTS TO BE SUBMITTED WITH THIS APPLICATION

- 14 copies of all submitted correspondence during review process
- A.  14 copies of Preliminary Plat
  - B.  14 copies of Preliminary Construction Plans
  - C.  14 copies of Topographic Map
  - D.  2 copies of Affidavit of Ownership & Title Policy ✓
  - E.  14 copies of Environmental Assessment Form
  - F.  Proof that taxes have been paid ✓
- V. ADJOINING PROPERTY OWNERS - To Be Submitted Prior To Public Hearing  
 A. Identify all adjoining property owners & owners directly across any and all adjoining streets including those in adjoining communities. Submit stamped envelopes addressed as listed.
- | SHEET | BLOCK | LOT | NAME OF OWNER & MAILING ADDRESS |
|-------|-------|-----|---------------------------------|
|-------|-------|-----|---------------------------------|

If necessary, continue listing on additional sheet.

By submission of this application, the property owner agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of the proposal.

Property shall be identified on site as being proposed for subdivision. Center line of proposed roadway(s) shall be staked prior to scheduling of a walk-through by the Planning Board.

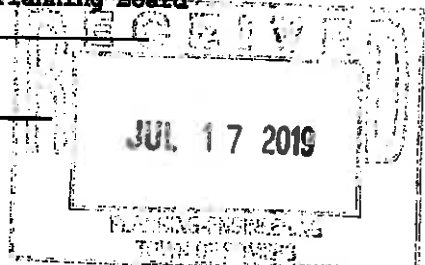
It is the responsibility of the applicant to be knowledgeable of the law. The following are available at the Town Clerk's Office: Master Plan, Zoning Ordinance, Subdivision Regulation, State Environmental Quality Review Act, Wetland and Steep Slope Ordinances, Road Specifications.

All revised plans shall be accompanied by a letter indicating what has been changed. All costs incurred by the Town for Professional Services and SEQOR review will be paid by the applicant.

The undersigned applicant hereby requests approval by the Planning Board of the Preliminary Plat and Construction Plans.

Client Applicant [Signature]  
 APPLICANT/Property Owner [Signature]

Date: \_\_\_\_\_  
 Date: 4/27/19  
7/8/19



**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

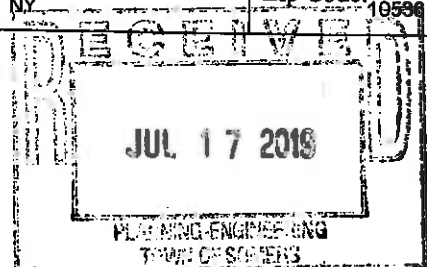
**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Cobbling Rock Estates		
Project Location (describe, and attach a general location map): Dr. Tony's Road & Cobbling Rock Drive, Somers, NY		
Brief Description of Proposed Action (include purpose or need): Proposed 9-lot subdivision. Each lot to contain a single family dwelling served by individual SSTS's and wells. Project will include construction of approximately 1,675 feet of new road for proposed lot frontage. Proposed subdivision to take place on a 39.4 acre +/- parcel within the R-120 zoning district.		
Name of Applicant/Sponsor: Vito Andriano	Telephone: (914) 804-6548	E-Mail: vitopaco@aol.com
Address: 18 Dr. Tony's Road		
City/PO: Katonah	State: NY	Zip Code: 10536
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Wittman Family Trust	Telephone:	E-Mail:
Address: 9 Dr. Tony's Road		
City/PO: Katonah	State: NY	Zip Code: 10536



**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Somers Planning Board Subdivision Approval	7-15-2019 (actual)
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Westchester County Dept. of Health Subdivision Approval	9-15-2019 (projected)
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYC Dept. of Environmental Protection - SWPPP Approval	
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS Dept. of Environmental Conservation - SPDES General Permit (GP-0-15-002)	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, identify the plan(s): NYC Watershed Boundary _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s): _____ _____	

**C.3. Zoning**

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
R-120 Residence District
- b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No
- c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

- a. In what school district is the project site located? Somers
- b. What police or other public protection forces serve the project site?  
Town of Somers & New York State Police
- c. Which fire protection and emergency medical services serve the project site?  
Somers Volunteer Fire Dept.
- d. What parks serve the project site?  
Town of Somers Parks & Recreation / Westchester County Parks (Lasdon Park & Muscoot Farm)

**D. Project Details**

**D.1. Proposed and Potential Development**

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential
- b. a. Total acreage of the site of the proposed action? 39.4 +/- acres  
b. Total acreage to be physically disturbed? 8.5 +/- acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 39.4 +/- acres
- c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_
- d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
Residential  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? 9  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_
- e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ months  
ii. If Yes:  
• Total number of phases anticipated 2  
• Anticipated commencement date of phase 1 (including demolition) 4 month 2021 year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:  
Project will be constructed in 2 phases. Phase 1 will consist of construction of roads and drainage. Phase 2 will consist of individual lot construction.

f. Does the project include new residential uses?  Yes  No  
If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	9			
At completion of all phases	9			

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
If Yes,

- i. Total number of structures \_\_\_\_\_
- ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length
- iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
If Yes,

- i. Purpose of the impoundment: \_\_\_\_\_
- ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_
- iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_
- iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres
- v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

- If Yes:
- i. What is the purpose of the excavation or dredging? \_\_\_\_\_
  - ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
    - Volume (specify tons or cubic yards): \_\_\_\_\_
    - Over what duration of time? \_\_\_\_\_
  - iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_
  - iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_
  - v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres
  - vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres
  - vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet
  - viii. Will the excavation require blasting?  Yes  No
  - ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 4,000-5,000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_  
Individual drilled wells serving each proposed lot

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 4,000-5,000 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary wastewater from single family dwellings

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will a line extension within an existing district be necessary to serve the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

\_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_

\_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

\_\_\_\_\_ Square feet or 2 +/- acres (impervious surface)

\_\_\_\_\_ Square feet or 39 acres (parcel size)

ii. Describe types of new point sources. Proposed stormwater conveyance system to consist of catch basins, HDPE pipe, drainage manholes

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

On-site stormwater treatment to be provided via infiltration basin & subsurface infiltration systems.

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_

- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

ii. In addition to emissions as calculated in the application, the project will generate:

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

- i. Estimate methane generation in tons/year (metric): \_\_\_\_\_
- ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

- i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_
- ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

l. Hours of operation. Answer all items which apply.

- i. During Construction:
  - Monday - Friday: \_\_\_\_\_ 7 AM - 6 PM
  - Saturday: \_\_\_\_\_ 7 AM - 6 PM
  - Sunday: \_\_\_\_\_
  - Holidays: \_\_\_\_\_

- ii. During Operations:
  - Monday - Friday: \_\_\_\_\_
  - Saturday: \_\_\_\_\_
  - Sunday: \_\_\_\_\_
  - Holidays: \_\_\_\_\_

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
Noise will result from typical construction operations during typical business hours

---

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Proposed residences will be equipped with typical residential lighting fixtures compliant with local regulations

---

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_

---

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces		2.0 +/-	
• Forested	39.4 +/-	30.9 +/-	-8.5 +/-
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.1 +/-	0.1 +/-	
• Wetlands (freshwater or tidal)	0.7 +/-	0.7 +/-	
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes - Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes - Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 7.0 + feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ 2.5 +/- %

c. Predominant soil type(s) present on project site:

CrC, CsD-Charlton Chatfield	_____	95 %
PnC-Paxton Fine Sandy Loam	_____	5 %
_____	_____	%

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 7.0 + feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	95 % of site
<input checked="" type="checkbox"/> Moderately Well Drained:	_____	5 % of site
<input type="checkbox"/> Poorly Drained	_____	% of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	25 % of site
<input checked="" type="checkbox"/> 10-15%:	_____	40 % of site
<input checked="" type="checkbox"/> 15% or greater:	_____	35 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

• Streams:	Name _____	Classification _____
• Lakes or Ponds:	Name _____	Classification _____
• Wetlands:	Name _____	Approximate Size _____
• Wetland No. (if regulated by DEC)	_____	_____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_ Principal Aquifer

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 Typical suburban species \_\_\_\_\_ i.e squirrel, white tail deer, birds, etc. \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 \_\_\_\_\_

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_  
 \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: WEST001

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: County & State Park Lands  
 ii. Basis for designation: Exceptional or unique character  
 iii. Designating agency and date: Agency: Westchester County, Date: 1-31-90



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

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f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

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g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_ TBD

ii. Basis for identification: \_\_\_\_\_

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h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

---

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6 NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

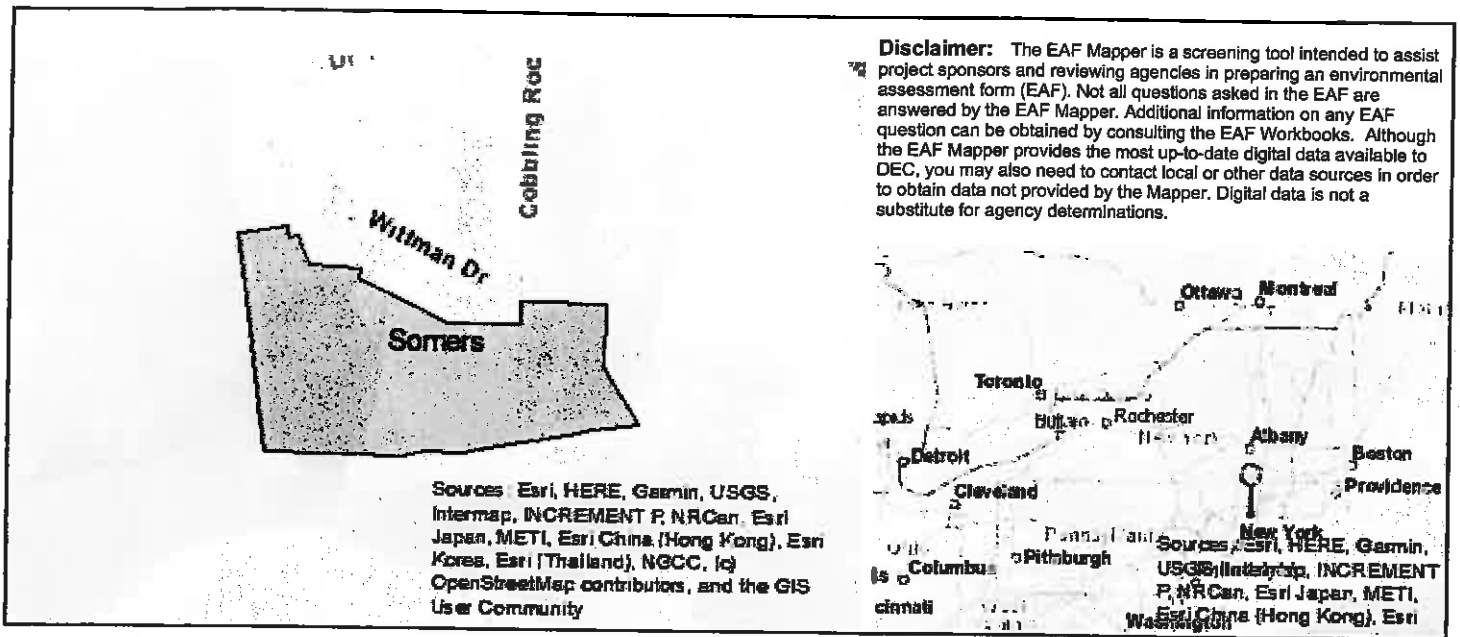
Applicant/Sponsor Name Vito Andriano

Date 7/19/19

Signature 

Title 7/17/19

SENIOR PARTNER, BIBBO ASSOC., LLP



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	WEST001
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	County & State Park Lands
E.3.d.ii [Critical Environmental Area - Reason]	Exceptional or unique character
E.3.d.iii [Critical Environmental Area -- Date and Agency]	Agency:Westchester County, Date:1-31-90
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

**AFFIDAVIT TO BE COMPLETED BY OWNER OTHER THAN CORPORATION**

STATE OF NEW YORK )

ss:

COUNTY OF Westchester )

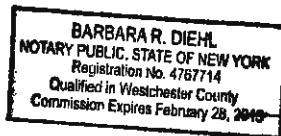
Barbara S. Wittmann, being duly sworn, deposes and says: that <sup>Trustee of</sup> ~~he~~ is the owner in fee of all the property shown on plat entitled

\_\_\_\_\_ application for approval of which is herein made. The deponent acquired title to the said premises by deed from Joseph B Wittman Jr and Barbara S. Wittmann dated \_\_\_\_\_, and recorded in the Office of the Clerk of the County of Westchester on \_\_\_\_\_, in Liber \_\_\_\_\_ of Conveyances at Page \_\_\_\_\_. That the statements contained herein are true to the best of deponent's knowledge and belief, and are made for the purpose of obtaining the approval of the submitted application by the Planning Board of the Town of Somers.

(Signed) [Signature]  
Barbara S. Wittmann

Sworn to before me this 27<sup>th</sup>  
day of April, 2019.

[Signature]  
(Notary Public)



2023

**TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
CHAPTER 67 "APPLICATION PROCESSING RESTRICTIVE LAW"**

**CERTIFICATION**

I hereby certify that to the best of my knowledge no outstanding fees are due and owing to the Town of Somers for the following property:

Section 37.19 Block 1 Lot 1

Property Address 22 DR. TONY'S ROAD

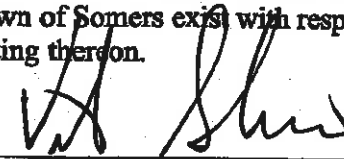
Permit Applying For PRELIMINARY SUBDIVISION APPROVAL

Furthermore, I hereby certify that to the best of my knowledge no outstanding violation (as that term is defined for the purposes of the Application Processing Restrictive Law, Paragraph 4D) of local laws or ordinances of the Town of Somers exist with respect to the above cited property or any structure or use existing thereon.

Signed   
(Owner of Record)

Barbara S. Wittmann  
(Print Name)

Date 4/27/19

Signed   
(Applicant for Permit)

VITO ANDRIANO  
(Print Name)

Date 7/8/19

**CONFIRMATIONS**

\_\_\_\_\_  
Zoning Enforcement Officer Date: \_\_\_\_\_

\_\_\_\_\_  
Director of Finance for Fees Date: \_\_\_\_\_

\_\_\_\_\_  
Engineering Department Date: \_\_\_\_\_

\_\_\_\_\_  
Receiver of Taxes Date: \_\_\_\_\_

**APPLICANT ACKNOWLEDGEMENT**

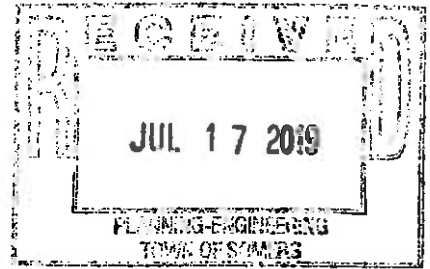
By making this application, the undersigned Applicant agrees to permit Town officials and their representatives to conduct on-site inspections in connection with the review of this application.

The applicant also agrees to pay all expenses for the cost of professional review services required for this application, as referred to in §133-1 of the Code of the Town of Somers. As such, an Escrow Account, according to §133-2 of the Code of the Town of Somers, may be required.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

~~OWNER~~  
Signature of Applicant: [Signature] Date: 4/27/19  
~~APPLICANT~~  
Signature of Property Owner: [Signature] Date: 7/8/19  
(if different from applicant) VITO ANORIADO

**Barbara R. Diehl**  
*Attorney at Law*  
2074 Crompond Road  
Yorktown Heights, New York, 10598  
(914) 245-7402  
(914) 245-7403 – FAX



*July 15, 2019*

*To Whom it May Concern:*

*The Wittmann Family Trust authorizes Vito Andriano to apply to the Town of Somers for a preliminary subdivision approval of our property on Cobbling Rock Drive.*

*Please feel free to call if you have any questions about this matter.*

*Very truly yours,*

A handwritten signature in cursive script, appearing to read "Barbara R. Diehl".

*Barbara R. Diehl, Trustee*

OFFICE OF THE TAX RECEIVER

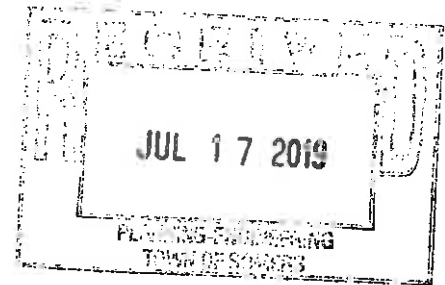
**Town of Somers**

WESTCHESTER COUNTY, N.Y.

Telephone  
(914) 277.3610

Fax  
(914) 277.8932

Michele A. McKearney  
Receiver of Taxes  
mmckearney@somersny.com



335 Route 202  
Town House  
Somers, NY 10589

July 15, 2019

RE: Wittmann Family Trust  
9 Dr. Tony's Road  
Parcel # 37.19-1-1

To Whom It May Concern,

All taxes have been paid in full on the above referenced parcel. There are no outstanding liens or taxes due as of the date of this letter.

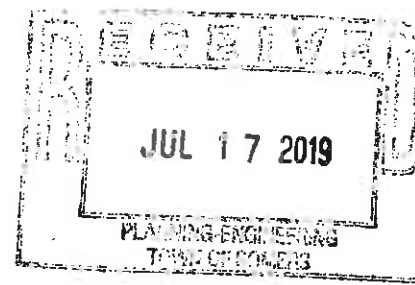
If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

Michele McKearney  
Receiver of Taxes



DESCRIPTION OF PROPERTY  
PREPARED FOR  
COBBLING ROCK DEVELOPMENT CORP.



All that certain lot, piece or parcel of land, situate, lying and being in the town of Somers, County of Westchester and State of New York, being more particularly bounded and described as follows:

BEGINNING at a point at the southeasterly terminus of Dr. Tony's Road as shown on a certain map entitled "The Land Grant Section No. 2, etc." said map filed the Westchester County Clerk's Office, Division of Land Records, January 13, 1989 as map number 23543, running thence in a generally southeasterly direction along the southerly boundary line of Lots 18, 17, 16 and 15, on a curve to the left having a radius of 450.00 feet, a central angle of  $8^{\circ}50'09''$  for a length of 69.40 feet, South  $18^{\circ}00'00''$  East 111.90 feet, South  $76^{\circ}51'45''$  East 280.21 feet, South  $26^{\circ}12'20''$  West 54.32 feet, South  $54^{\circ}12'55''$  East 538.12 feet, South  $79^{\circ}51'30''$  East 419.64 feet and North  $10^{\circ}08'30''$  East 120.88 feet to a point at the southwesterly terminus of Cobbling Rock Drive as shown on a certain map entitled "Subdivision Map of The Land Grant Section No. 1, etc.", said map filed in the Westchester County Clerk's Office, Division of Land Records, August 9, 1983 as map number 21298, running thence in an easterly direction along the southerly terminus of Cobbling Rock Drive, South  $79^{\circ}51'30''$  East 50.00 feet to a point at the southeasterly terminus of Cobbling Rock Drive, thence continuing in an easterly direction along the southerly boundary line of Lot 10 as shown on the second filed map referred to above South  $79^{\circ}51'30''$  East 399.89 feet to a point, thence in a southerly and westerly direction along the westerly and northerly boundary line of property belonging to the City of New York, South  $10^{\circ}16'00''$  West 345.87 feet, South  $21^{\circ}43'00''$  East 361.20 feet, North  $87^{\circ}42'25''$  West 232.20 feet, South  $83^{\circ}07'05''$  West 93.05 feet, South  $89^{\circ}31'05''$  West 296.25 feet, South  $89^{\circ}02'05''$  West 201.03 feet, South  $89^{\circ}42'05''$  West 154.58 feet, North  $79^{\circ}00'25''$  West 203.00 feet, South  $87^{\circ}33'35''$  West 129.00 feet, North  $81^{\circ}48'25''$  West 100.17 feet, North  $77^{\circ}18'25''$  West 147.31 feet, North  $80^{\circ}37'25''$  West 204.20 feet, North  $79^{\circ}06'25''$  West 84.93 feet, North  $75^{\circ}11'55''$  West 113.29 feet and North  $84^{\circ}07'55''$  West 108.49 feet to a point, thence in a northerly direction along the easterly boundary line of property belonging to the County of Westchester North  $1^{\circ}40'57''$  East 1211.02 feet to a point, thence in an easterly direction along the southerly boundary line of Lot 27 as shown on the first filed map referred to above, South  $89^{\circ}00'00''$  East 272.79 feet to a point on the westerly boundary line of Dr. Tony's Road, thence in a southerly direction along the westerly boundary line of Dr. Tony's Road on a curve to the left having a radius of 500.00 feet, a central angle of  $7^{\circ}17'54''$  for a length of 63.68 feet to a point at the southwesterly terminus of Dr. Tony's Road, thence in an easterly direction along the same, North  $80^{\circ}50'09''$  East 50.00 feet to the point or place of beginning, containing 39.436 acres, more or less.

H. STANLEY JOHNSON AND COMPANY  
LAND SURVEYORS, P.C.  
42 Smith Avenue - P.O. Box 93  
Mount Kisco, New York 10549  
Ph. (914) 241-3872 Fax (914) 241-0438  
E-mail: [hsjco@optonline.net](mailto:hsjco@optonline.net)

Job Number: F19-006.01

Date: May 29, 2019

SC  
FB  
CTE 7/23/19

OPEN SPACE COMMITTEE

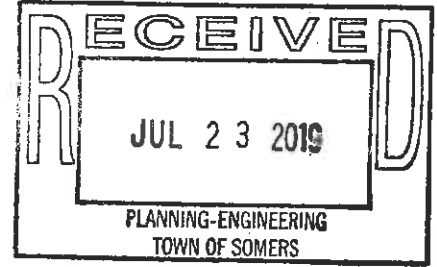
**Town of Somers**

WESTCHESTER COUNTY, N.Y.

Telephone  
(914) 277-5582  
Fax  
(914) 277-3790

SOMERS TOWN HOUSE  
335 ROUTE 202  
SOMERS, NY 10589

MICHAEL BARNHART  
CHAIRMAN



**MEMO TO:** Planning and Engineering  
**FROM:** Open Space Committee  
**RE:** Cobbling Rock Estates Subdivision  
**DATE:** July 23, 2019

At its monthly meeting on July 18, 2019, the Committee reviewed and discussed a preliminary 9 lot subdivision for the proposed Cobbling Rock Estates.

The property in question appears to be environmentally sensitive with many important habitats and unique ecological and possibly archaeological features, as recognized on the Environmental Assessment Form. The Committee would like to visit the property and make a more thorough evaluation of the environmental features of the parcel before making any detailed suggestions. However, the Committee offers the following recommendations:

[1] The property is relatively large and bisected by a significant stream corridor that follows a steep section of ravine exiting the southern boundary. Large areas of the western portion of the property are steep and rocky with a significant area of knob and basin terrain present in the northwest corner. The latter suggests the possibility of intermittent woodland pools, and some of the topology suggests seepage slopes and other important habitat types. Preliminary indications are that the property contains areas of recognized conservation value, particularly along the stream area and western edge. The Committee also notes that the property borders large areas of ecologically significant open space along its entire western, southern, and eastern perimeter, particularly Lasdon Park on the west, the Muscoot River corridor to the south, and NYCDEP lands to the east. The stream that exits to the south flows into the Muscoot River, thereby emptying into the Muscoot Reservoir. Given its open-space linkages and significant environmental features, the Committee suggests the preparation of a conservation subdivision plan that clusters all the proposed building lots on the flatter, eastern and central portion of the property with a road connection at Cobbling Rock Drive. The section from the central stream corridor west to the property boundary with Lasdon Park should remain open space. Such a proposal would eliminate the need for at least one road connection and probably

reduce costs associated with the extensive site preparation necessary to build on the western third of the property. We further suggest approaching the Westchester or Somers Land Trusts to hold a conservation easement on the open-space portion of the parcel thereby ensuring enhanced protection of its important environmental features.

[2] The Committee suggests that both a biodiversity assessment as well as an archaeological assessment be required given the important natural features of the parcel.

[3] We also recommend that the stormwater infrastructure include small reptile and amphibian protections including the use of Cape Cod style curbing and appropriate protections around catch basins and the like. If feasible, we also advise alternative means of managing stormwater such as rain gardens.

PLANNING AND ENGINEERING DEPARTMENTS

**Town of Somers**  
WESTCHESTER COUNTY, N.Y.



Telephone  
(914) 277-5366  
Fax  
(914) 277-4093

Steven Woelfle  
Principal Engineering Technician  
swoelfle@somersny.com



Syrette Dym, AICP  
Director of Planning  
sdym@somersny.com

**MEMORANDUM**

**TO:** Town of Somers Planning Board

**FROM:** Syrette Dym, Director of Planning

**DATE:** August 7, 2019

**RE:** Project: Cobbling Rock Estates Subdivision  
Applicant: Vito Andriano  
Location: 22 Dr. Tony's Road  
Zoning: R120 Residence District; Tax Lot - 37.19-1-1  
Actions: Application for Nine-Lot Subdivision and Development of  
Nine Single Family Houses

**New Submission**

A new submission was made dated July 15, 2019 received on July 17, 2019 and consisted of the following:

- Application for Preliminary subdivision Approval dated 07-08-19
- Application for Steep Slopes Permit, dated 07-08-19
- Owner Affidavit, dated 04-27-19
- Application Processing Restrictive Law Form, dated 07-08-19
- Applicant Acknowledgement, dated 07-08-19
- Letter of Authorization from Property Owner
- Proof of Taxes Paid
- Environmental Assessment Form, dated 07-15-2019
- Property Survey, prepared by H. Stanley Johnson and Company Land Surveyors, P.C. dated 03-07-19
- The following plan sets prepared by Bibbo Associates, LLP dated 07-15-19:
  - PS-1 Preliminary Subdivision Plan
  - C-1 – Constraints Map

- S-1 Soils Map
- RP – Road Profiles
- D-1 – Details

Based on comments regarding incompleteness of the Long Form EAF, a revised EAF dated 07-17-19 was resubmitted.

### **Background, Context and History**

It is important to note that the 39.4-acre parcel is located directly south of a prior two section subdivision of a larger parcel that included this parcel, all owned by the Wittmann Family Trust. The subdivision was known as “The Land Grant” subdivision. A copy of the location plan of the second section of the subdivision showing Section 1 and the current subject parcel is attached.

As seen on the location map of the Second Section of the subdivide and on the associated subdivision plats, the zoning of the parcel at the time of these prior subdivision in 1980 and 1982, was R80. As a result, all developed lots contiguous to the subject parcel range in size generally in the low to mid-80,000 square feet with the exception of the lot with the original home, which is much larger. As part of the townwide rezoning that followed adoption of the 1994 Comprehensive Master Plan, the subject parcel was apparently rezoned to R120.

Sections 1 and 2 and this formerly designated “Future Section of the Land Grant” are almost entirely surrounded by protected open space. Directly north of Sections 1 and 2 across Route 35 is Angle Fly Preserve. and to the west of the Preserve are lands of the City of New York. Directly west of the entire site, including the subject parcel, is Lasdon Park. To the south of the site are lands of the City of New York and south of those are Muscoot Farm. To the southeast of the site are additional lands of the City of New York and the two-lot McKenna subdivision.

The Section 1 and 2 subdivisions have environmentally sensitive lands that required establishment of drainage easements.

As seen on the subject Preliminary Subdivision Plan, drawing PS-2, formerly subdivided Lots 15 and 16 have 20-foot slope easements. Lot 17 is shown as being encumbered by a large section of the 100-foot wetland buffer. Since the Chapter 167 Wetlands and Watercourse Protection of the Town Code was not enacted until 1997, it would appear that this buffer to a local wetland was not accounted for in the original subdivision. However, a chain link fence is shown within the buffer at the boundary of the wetland and may have been required to protect the wetland from disturbance.

### **Conventional vs. Conservation Subdivision**

The resolution Granting Final Approval to the Land Grant Subdivision; Tax Map Sheets 37, 38 and 42, Block 55, Lot 3 and 4 signed May 12, 1982, stated the following:

“Whereas, during its review and discussion of the Land Grant preliminary subdivision plat, the Planning Board recognized that the subject tract would be suitable for a conservation approach to development as is permitted under the provisions of Section 281 of Town Law and so advised the Applicant. However, the applicant informed the Board that the owner of the property was not agreeable to such a development approach. As the Board could not compel an application under Section 281, the preliminary conventional subdivision layout was granted preliminary approval by a resolution of the Planning Board dated November 6, 1980 subject to nineteen (19) modifications; and”

In a memorandum of July 23, 2019, the Open Space Committee requested that the Planning Board pursue a conservation subdivision layout for this property. While it is not clear at this time whether the applicant would still indicate its preference for pursuing a conventional subdivision, unlike the situation in 1980 and 1982, the Town has now enacted Article IIIA. Conservation Zoning. Section 170-13.2 which no longer leaves it up to the Applicant to decide whether a conservation subdivision should be pursued, but gives that authority to the Planning Board. Section 170-13.2 states the following:

“The Planning Board of the Town of Somers is hereby authorized, simultaneously with the approval of a subdivision plat(s), to modify applicable provisions of this chapter, subject to the limitations, procedures, conditions and requirements as set forth in this Article IIIA as well as the applicable requirements of the Town's Regulations for the Subdivision of Land (Chapter 150 of the Town Code) and § 278 of the Town Law, so as to create conservation subdivisions.

- A. This procedure may be followed at the discretion of the Planning Board if, in said Board's judgment, its application would benefit the Town by satisfying one or more of the purposes as set forth in § 170-13.1. In the event that the Planning Board makes a determination that a conservation subdivision plan is appropriate, but the property owner does not present such a plan to the Board, the Planning Board is hereby authorized to require said owner to submit such a plan as a condition for the further consideration of the owner's subdivision application.
- B. This authorization shall be applicable only to land in the Town's Residence R120, R80 and R40 Districts.
- C. This authorization shall be applicable only to parcels of land greater than or equal to 12 acres in size.”

Since the parcel in question meets the threshold of B and C above, the Planning Board should consider whether it meets the threshold of Section 170-13.1 and whether it wants to applicant to provide a conservation subdivision layout.

In considering this alternative, the Planning Board can consider the following:

1. Does it believe this parcel is a continuation of the prior two sections and institution of a conservation parcel and the potential need for a homeowner's association in the event that no entity wants to take the easement would not be compatible with the fee simple approach of the other two sections.
2. In support of a conservation subdivision, since the zoning is now R120, Section 170-13.3D Standards and Requirements of conservation zoning requires that the minimum lot area of lots in a conservation subdivision within the R120 district be 60,000 square feet. Therefore, the conservation lots, though smaller than those existing in the 80,000 square foot range, would still be large and generally potentially consistent with existing community character.
3. Given that the requirements of Section 170-58.3 regarding environmentally sensitive lands and Section 170-58.4A regarding minimum buildable area would have to be met, it would have to be determined if the proven conventional lot count with well and septic could be met with a conservation subdivision.

Alternatively, should a conservation subdivision not be determined to be pursued, the Planning Board might be able to accomplish similar goals in a manner that was accomplished for the Tamarack and Vine and DiSiena subdivisions. In both cases, creation of a Homeowner's Association was rejected. For Tamarack and Vine, the Planning Board determined that the environmentally sensitive features of the site were best preserved by placing these areas within each fee simple lot whose preservation would be guaranteed through deed restriction by a freestanding Restrictive Covenant, one for the open space and a separate one for stormwater management. For DiSiena, sensitive features were also incorporated into each lot and guaranteed by deed restriction and a declaration of restrictive covenants was placed on two conservation parcels.

All these alternatives should be considered by the Planning Board.

### **Conventional Subdivision – Determination of Permitted Lot Count**

Whatever the route the Planning Board determines to take, the first thing that must be established is whether the proposed 9-lot subdivision can be achieved given zoning and environmental constraints. Such analysis will follow below.

As seen in the Constraints Map drawing C-1, the site is bisected by a significant wetland and a wetland buffer that is about half coincidental with steep slopes and whose southwestern and southeastern portions are characterized by steep slopes. As a result of the central wetland, the applicant has needed to establish two town road extensions ending in cul-de-sacs, one off Cobbling Rock Drive and one off Dr. Tony's Road.

As seen on the Preliminary Subdivision Plan Drawing PS-1 Note 6, the wetlands were delineated on February 5, 2019 by Tim Miller Associates. Therefore, the delineation falls within the requirement of Chapter 167-6.A(9)(a), that wetlands be delineated no more than one year from project application. The Applicant should provide a copy of the written wetland report prepared by Tim Miller Associates.

An area shown on proposed Lot 2 has been identified in a phone conversation between the Planning Director and Matt Gironda of Bibbo Engineering as two watercourses that were not identified as wetlands in the field.

The Zoning Conformance Table on Drawing PS-1 shows all lots that add up to a total acreage of 37.46 acres. Based on a conversation with Matt Gironda, the additional 2± acres not shown are attributed to the two proposed Town roads. This acreage should be added to a revised Zoning Conformance Table.

Section 170-58.3 Calculation of lot area specifies the amounts of environmental features that should be excluded from the calculation of lot area. For wetlands it is 75%, for very steep slopes equal to or greater than 25%, it is also 75%. When any one area has more than one of these constraints, the proportion excluded remains at 75%. The zoning Conformance Table only indicates slopes “over 25%”. The table should be modified to read “equal to or greater than 25%” and the applicant should indicate that slopes equal to 25% have been identified in the constraints map. In addition, the constraints map shows a proportion of slopes overlapping wetlands. The amount of acreage of constrained area by type needs to be shown for each lot. The calculation of buildable area and deductions for wetland buffer areas also needs to be shown for each lot. This needs to be identified in the chart.

To aid in these delineations, an area of disturbance line needs to be included on the plans.

## **SEQR**

### *Lead Agency*

The Planning Board has received the Full Environmental Assessment Form. The first step necessary is for or the Planning Board to declare its intent to act as lead agency for this unlisted action and circulate the material to all involved and interested agencies. This should be done at the meeting of August 14, 2019.

### *Tree Removal Permit*

The site is heavily wooded and the entire site is identified as forested in the cover types identified in question E.1b of the EAF. The EAF identifies that 8.5 acres of forest will be removed as a result of the development. The applicant has not submitted a Tree Removal permit application and fee nor identified the number and types of trees to be removed. The application, fee and tree survey need to be submitted as part of the application.

### *Stormwater Management and Erosion and Sediment Control Permit*

Although the Applicant paid the fee for a Stormwater Management and Erosion and Sediment Control Permit, no application form was submitted as part of the original submittal package. The Applicant needs to provide that application.

### *Agricultural District*

The site is located within State designated Westchester Agricultural District 1 – WEST001 as identified on the Environmental Mapper and in question E.3a. of the EAF. As such, the



Applicant must determine based on Section 305-a of the State Agriculture and Markets Law whether an Agricultural Data Statement (ADS) must be prepared. The Applicant should seek guidance from the Westchester County Department of Planning, David Kvinge on this matter. An ADS must be prepared if the project occurs within an agricultural district containing a farm operation or on property with boundaries within 500 feet of a farm operation located within an agricultural district.

*Critical Environmental Area*

The Environmental Mapper identifies the site as being in a Critical Environmental Area due to County and State Park Lands in question E.3.d. of the EAF. This is due to its proximate location to Lasdon Park, Lands of the City of New York and Muscote Farm as well as Angle Fly Preserve.

*SHPO*

EAF question E.3f. indicates that the site has or is adjacent to sites that has sensitivity for archaeological sites. The Applicant needs to obtain a letter from SHPO verifying that there is no potential adverse impact on such sensitive areas due to site development.

*Subdivision Standards*

Section 150-21. Streets

D (3) – Indicate that the grades of both road extensions are no greater than 3% within 75 feet of the intersections. How does this relate to requirement of Section 150.20H. which states the Maximum grade within 60 feet of the intersection is 3 percent?

Section 150.20H - Demonstrate that the maximum grades of the proposed roads are no greater than 10 percent and of the cul-de-sacs, no greater than 5 percent.

CC: Joe Barbagallo  
Alvaro Alfonzo-Larrain  
Jennifer Martinez  
Roland Baroni  
Joe Eriole  
Matt Girona  
Wittman Family Trust  
Vito Andriano

Z:\PE\Subdivision files\22 Dr. Tony's Road\Town Comments\Planning Board Comments 08-07-19.docx

**NOTICE OF SEQRA ACTIONS –**

**Cobbling Rock Estates Subdivision – 22 Dr. Tony’s Road - Proposed Preliminary Subdivision Approval for a Nine-Lot Subdivision and Construction of Nine New Single-Family Houses**

**Notice of Intent to Act as Lead Agency**

Issued by Town of Somers Planning Board Westchester County, New York

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act (SEQRA)) of the New York State *Environmental Conservation Law* and Chapter 92 (Environmental Quality Review) of the *Code of the Town of Somers, New York*.

The Planning Board of the Town of Somers, Westchester County, declares its intent to act as lead agency for a Proposed Preliminary Subdivision Approval for a Nine-Lot Subdivision on property owned by Wittmann Family Trust at 22 Dr. Tony’s Road.

The Somers Planning Board, at its meeting of August 14, 2019 declared its intent to establish itself as Lead Agency with regard to this Proposed Action under the procedures and requirements of SEQRA and Chapter 92 of the Somers Town Code as part of a coordinated review.

The Proposed Action is an Unlisted Action under SEQRA as per Chapter 92 of the *Code of the Town of Somers* in conjunction with Article 24 of the *NYS Environmental Conservation Law*.

**PROPOSED LEAD AGENCY:** Planning Board, Town of Somers  
Somers Town House  
335 Route 202  
Somers, New York 10589

**TITLE OF ACTION:** Cobbling Rock Estates Proposed Preliminary Subdivision for a Nine-Lot Subdivision and Development of Nine Single Family Houses

**DESCRIPTION OF ACTION:** Wittman Family Trust, the owner of 39.4 acres of R120 zoned land proposes a 9-Lot subdivision to contain nine single family homes served by individual sanitary sewer treatment systems and wells. The project will include construction of approximately 1,675 linear feet of new Town road contained in two separate roadways ending in cul-de-sacs, one as an extension of Dr. Tony’s Road and the other as an extension of Cobbling Rock Drive. The site is bisected by a local wetland and characterized by steep slopes at its eastern, western and central portions. The site is located within Westchester County Agricultural District #1 and is south of two other Wittman Family Trust parcels to the north previously subdivided for single family homes when those parcels were zoned R80.

**LOCATION:** Dr. Tony’s Road and Cobbling Rock Drive, Somers NY, Westchester County (Tax Lots 37.19-1-1)

**SUPPLEMENTAL INFORMATION:** A Full Environmental Assessment Form Part 1 has been prepared for the Proposed Action (dated 07/17/19). This form is being distributed to all Involved and Interested Agencies (see attached below), and this information is also available for review in the Planning and Engineering office at the Town House and on the Town's web site.

Contact: Syrette Dym, AICP, Director of Planning  
335 Route 202  
Somers, New York 10589

Telephone: 914-277-5366

Date of this Notice: August 14, 2019  
**SEQR DISTRIBUTION LIST – See Attached**

**SEQR DISTRIBUTION LIST – Cobbling Rock Estates – 22 Dr. Tony's Road Proposed Preliminary Subdivision Approval for a Nine Lot Subdivision and Construction of Nine New Single-Family Houses**

**Lead Agency**

Somers Planning Board  
Somers Town House  
335 Route 202  
Somers, New York 10589

**Involved Agencies**

Westchester County Department of Health  
25 Moore Avenue  
Mt. Kisco, New York 10549  
Attn.: Frederick Beck

New York City Department of Environmental Protection  
465 Columbus Avenue 1st Floor  
Valhalla, New York 10595  
Attn.: Mariyam Zachariah

New York State Department of Environmental Conservation  
Division of Environmental Permits--Region 3  
21 South Putt Corners Road  
New Paltz, New York 12561-1696  
Attn.: John Petronella, Regional Permit Administrator

**Interested Agencies**

Town of Somers Town Clerk  
Somers Town House  
335 Route 202  
Somers, New York 10589  
Attn.: Patricia Kalba, Town Clerk

Somers Town Board  
Somers Town House  
335 Route 202  
Somers, New York 10589

Town of Somers Open Space Committee  
Somers Town House  
335 Route 202  
Somers, New York 10589

Town of Somers Parks & Recreation Board  
Somers Town House  
335 Route 202  
Somers, New York 10589

Town of Somers Energy and Environment Committee  
Somers Town House  
335 Route 202  
Somers, New York 10589

Somers Bureau of Fire Prevention  
Somers Town House  
335 Route 202  
Somers, New York 10589

Somers Fire District  
P.O. Box 300  
Somers, NY 10589  
Attn.: John Markiewicz, Chairman, Board of Fire Commissioners

Town of Somers Highway Department  
Somers Town House  
335 Route 202  
Somers, New York 10589  
Attn.: Thomas Chiaverini, Highway Superintendent

Town of Somers Police Department  
Somers Town House  
335 Route 202  
Somers, NY 10589

Somers Central School District  
P.O. Box 620  
Lincolndale, New York 10601  
Attn: Dr. Raymond Blanch

Westchester County Planning Board  
432 Michaelian Office Building  
White Plains, New York 10601

**Others – Lead Agency Representatives**

Syrette Dym, AICP, Director of Planning  
Somers Town House  
335 Route 202  
Somers, New York 10589

Woodard & Curran Engineering P.A P.C.  
709 Westchester Avenue Suite 12  
White Plains, NY 10604  
Attn.: Jennifer Martinez

Stephans, Baroni, Reilly & Lewis LLP  
175 Main Street  
White Plains, NY 10601  
Attn.: Roland A. Baroni, Esq.

**Others – Project Sponsor Representatives**

Wittmann Family Trust  
9 Dr. Tony's Road  
Somers, NY 10589

Vito Andriano  
18 Dr. Tony's Road  
Somers, NY 10589

Matthew Gironda  
Bibbo Associates, LLP.  
293 Route 100 Suite 203  
Somers, NY 10589

PLANNING AND ENGINEERING DEPARTMENTS

Telephone  
(914) 277-5366  
Fax  
(914) 277-4093

**Town of Somers**  
WESTCHESTER COUNTY, N.Y.

SOMERS TOWN HOUSE  
335 ROUTE 202  
SOMERS, NY 10589  
www.somersny.com

Steven Woelfle  
Principal Engineering Technician  
swoelfle@somersny.com



Syrette Dym, AICP  
Director of Planning  
sdym@somersny.com

August 14, 2019

Involved and Interested Agencies

Re: Proposed Preliminary Subdivision for a Nine Lot Subdivision and Construction of Nine New Single-Family Homes on Property Owned by Wittmann Family Trust Located at Dr. Tony's Road and Cobbling Rock Drive, Somers, Westchester County, NY

Wittman Family Trust, the owner of 39.4 acres of R120 zoned land proposes a 9-Lot subdivision to contain nine single family homes served by individual sanitary sewer treatment systems and wells. The project will include construction of approximately 1,675 linear feet of new Town road contained in two separate roadways ending in cul-de-sacs, one as an extension of Dr. Tony's Road and the other as an extension of Cobbling Rock Drive. The site is bisected by a local wetland and characterized by steep slopes at its eastern, western and central portions. The site is located within Westchester County Agricultural District #1 and is south of two other Wittman Family Trust parcels to the north previously subdivided for single family homes when those parcels were zoned R80.

At its meeting of August 14, 2019, the Town of Somers Planning Board voted to declare its intent to be Lead Agency for the Proposed Action under SEQR based on its review of a Full EAF –Part 1 dated July 17, 2019.

The Proposed Action is an Unlisted Action pursuant to Chapter 92 of the *Code of the Town of Somers and Article 8 (State Environmental Quality Review Act (SEQRA))* of the *New York State Environmental Conservation Law*. The Planning Board will conduct a coordinated environmental review. The attached Notice of Intent to Be Lead Agency and attached Full EAF are being distributed to involved and interested agencies for their information.

Syrette Dym, AICP  
Director of Planning

Attach. – Notice of Intent to Be Lead Agency  
SEQR Distribution List  
Full Environmental Assessment Form – Part 1

**STATE ENVIRONMENTAL QUALITY REVIEW  
LEAD AGENCY RESPONSE FORM**

Response Deadline: September 13, 2019

TO: Town of Somers – Planning Board  
Attn: Syrette Dym, AICP, Director of Planning  
Town House  
335 Route 202  
Somers, New York 10589

**RE: Establishment of Lead Agency – Cobbling Rock Estates Proposed Preliminary  
Subdivision for a Nine-Lot Subdivision and Development  
of Nine Single-Family Houses**

Please be advised that the \_\_\_\_\_,  
(Name of Agency)

as an involved agency under SEQR concurs with the designation of the Somers Planning

Board as Lead Agency for the above-captioned project.

*Comments, if any, on approval(s) under our jurisdiction and/or issues to be examined as  
part of environmental review under SEQR:*

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name and Title: \_\_\_\_\_



**LOCALITY PLAN**

SCALE 1" = 1000'

EXISTING TOWN ZONING: R80 (RESIDENTIAL).

TOWN TAX MAP DATA: Section 37/42, Blocks and Lots as Shown.

**NOTE RE: DRAINAGE EASEMENTS**

THE DRAINAGE EASEMENTS SHOWN HEREON ESTABLISH THE PERMITTAL RIGHT TO DISCHARGE STORM WATER RUNOFF FROM THE HIGHWAY AND FROM THE AREA DRIFT AND OVER THE AFFECTED PREMISES BY MEANS OF PIPES, CULVERTS, DITCHES, OR A COMBINATION THEREOF, TOGETHER WITH THE RIGHT OF EASE TO THE HIGHWAY, OR HIS AUTHORIZED REPRESENTATIVE, TO SAID PREMISES FOR PURPOSES OF MAKING SUCH INSTALLATIONS AND GOIN MAINTENANCE WORK AS SAID HOLDER OF FEE TITLE MAY DEEM NECESSARY ADEQUATELY DRAIN THE HIGHWAY AND SURROUNDING AREA.

**NOTE RE: SIGHT EASEMENTS**

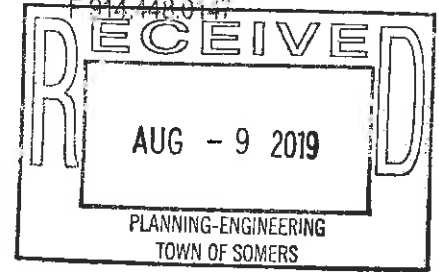
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COMMITMENT & INTEGRITY  
DRIVE RESULTS

Woodard & Curran Engineering P.A.P.C.  
300 Westchester Avenue | Suite N507  
Rye Brook, New York 10573  
www.woodardcurran.com

T 800.507.4050  
T 914.448.2206  
F 914.448.0147



## MEMORANDUM



**TO:** Town of Somers Planning Board  
**CC:** Barbara Sherry, Planning Board Secretary  
**FROM:** Joseph C. Barbagallo, P.E., BCEE  
**DATE:** August 9, 2019  
**RE:** Cobbling Rock Estates (22 Dr. Tony's Road)  
Preliminary Subdivision Plat Approval, Stormwater Management and Erosion and Sediment Control, Tree Removal Permit and Steep Slopes Protection Permits.  
TM: 37.19-1-1, R-120 District

### GENERAL

The purpose of this memorandum is to provide the Planning Board with a summary of our comments related to our review of the Preliminary Subdivision Plat Approval Application that has been submitted for Cobbling Rock Estates located at 22 Dr. Tony's Road in Somers, New York.

The application proposes a nine-lot subdivision to contain nine single-family residences served by individual septic systems and water wells. The project will also include construction of new Town roads as two separate roadways ending in cul-de-sacs: one as an extension of Dr. Tony's Road and the other as an extension of Cobbling Rock Drive. Infiltration systems will be located on each lot to treat the new impervious areas.

The project site is located within the East of Hudson watershed and is subject to approval by both the New York City Department of Environmental Protection (NYCDEP) and the New York State Department of Environmental Conservation (NYSDEC) given the proposed site disturbance and nature of the development. A local wetland bisects the site and the site is characterized by steep slope areas.

This review focused on the engineering design and the associated Town Code requirements in accordance with the following:

- Town of Somers Code, Chapter 93: *Stormwater Management and Erosion and Sediment Control*, and other sections, as applicable.
- Town of Somers Code, Chapter 148: *Steep Slopes Protection*
- Town of Somers Code, Chapter 156: *Tree Preservation*
- *New York State Standards and Specifications for Erosion and Sediment Control*, dated November 2016.
- *New York State Department of Environmental Conservation's (NYSDEC's) Stormwater Management Design Manual (SMDM)*, dated January 2015.
- *Rules and Regulations for the Protection from Contamination, Degradation, and Pollution of the New York City Water Supply and its Sources*, Chapter 18.



**DOCUMENTS REVIEWED**

- Cover Letter, Re: *Application for Preliminary Subdivision Approval, Cobbling Rock Estates, 22 Dr. Tony's Road, Sec.: 37.19 Block: 1 Lot: 1*, prepared by Bibbo Associates, L.L.P., dated July 15, 2019.
- *Somers Planning Board, Application for Preliminary Approval of Subdivision*, signed by Vito Andriano, dated July 8, 2019.
- *Town of Somers, Westchester County, New York, Chapter 67 "Application Processing Restrictive Law,"* signed by Vito Andriano, dated July 8, 2019.
- *Town of Somers, Westchester County, New York, Application for Environmental Permit, Chapter 148 "Steep Slope Protection",* signed by Vito Andriano, dated July 8, 2019.
- *Affidavit to be Completed by Owner Other than Corporation*, signed by Barbara Wittman, n.d.
- *Applicant Acknowledgement*, signed by Vito Andriano, dated July 8, 2019.
- *Full Environmental Assessment Form*, signed by Vito Andriano, dated July 17, 2019.
- *Survey, Topographic Survey and Survey of Property Prepared for Cobbling Rock, Situate in the Town of Somers, Westchester County, New York*, prepared by H. Stanley Johnson and Company Land Surveyors, P.C., dated March 7, 2019.
- *Drawings, Cobbling Rock Estates, 22 Dr. Tony's Road, Town of Somers, Westchester County, NY 10589*, prepared by Bibbo Associates LLP, including:

Sheet Number	Sheet Name	Dated
PS-1	Preliminary Subdivision Plan	07/15/19
C-1	Constraints Map	07/15/19
S-1	Soil Map	07/15/19
RP	Road Profiles	07/15/19
D-1	Details	07/15/19

**PERMITS AND APPROVALS REQUIRED**

- Town of Somers Planning Board: Preliminary Subdivision Plat Approval
- Town of Somers Planning Board: Stormwater Management and Erosion and Sediment Control Permit
- Town of Somers Planning Board: Tree Removal Permit
- Town of Somers Planning Board: Steep Slopes Protection Permit



- NYCDEP: Approval of Proposed Septic System
- NYSDEC: State Environmental Quality Review
- NYSDEC: SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002)
- Westchester County Department of Health (WCDOH): Approval of Sanitary Sewer Systems
- Westchester County Department of Health (WCDOH): Realty Subdivision Approval

## DISCUSSION

The following is a summary of our comments. It should be noted that further comments may be provided upon review of additional information.

1. The Applicant has indicated on the Full Environmental Assessment Form that the proposed limits of disturbance are approximately 8.5 acres. However, the limits of disturbance shall be delineated and quantified on the plans. The Applicant shall revise all submittal documents to be consistent.
2. The Applicant shall prepare an acceptable Stormwater Pollution Prevention Plan (SWPPP) that includes erosion and sediment controls and post-construction stormwater runoff controls (i.e. stormwater quantity and quality controls) consistent with the requirements of Section 93-6 of the Town Code.
  - a. Since the project is in the East of Hudson watershed and will disturb over 1 acre of land, the project will also be required to obtain construction coverage under the NYSDEC SPDES General Permit (GP-0-15-002). The SWPPP must address supplementary criteria specified by the SPDES General Permit.
  - b. The project will also be required to obtain SWPPP approval from the NYCDEP. The SWPPP must address supplementary criteria specified by Section 18-39(c).
3. The Applicant shall provide a draft Notice of Intent and MS4 SWPPP Acceptance Form to obtain coverage under NYSDEC General SPDES Permit (GP-0-15-002) based upon the SWPPP for review and acceptance by the Consulting Town Engineer.
4. Based on the provided plans, the Applicant is proposing to address the stormwater quality requirements using infiltration systems (i.e. Cultec Recharger 330XLHD chambers and Infiltration Basins). The following comments are related to the proposed stormwater management features:
  - a. The Applicant shall provide calculations demonstrating that the proposed systems have been sized to address Water Quality Volume (WQv) treatment requirements. The WQv shall be based on the post-development runoff from the 1-year, 24-hour storm event, as required by Chapter 10 of the NYSDEC Stormwater Management Design Manual (SMDM). Note that full treatment of the WQv is achieved by storing 100% of the WQv below the proposed invert of the outlet without crediting infiltration.



- b. The Applicant shall demonstrate that the proposed infiltration systems will satisfy the minimum Runoff Reduction Volume (RRv) requirement. The RRv shall be based on the 1-year, 24-hour storm event and the Specified Reduction Factor in the NYSDEC SMDM.
- c. The Applicant shall conduct deep tests and provide test results to certify that minimum separation of 3 feet exists between the bottom of the proposed infiltration system and the groundwater table or bedrock.
  - i. Accurate system elevations (i.e., grade elevation, top/bottom of structure) for the proposed stormwater management system shall be provided to demonstrate that the required vertical separation has been achieved.
  - ii. The Applicant shall show the location of the deep tests on the plans.
  - iii. Deep test results shall be signed and sealed by a Professional Engineer licensed in the State of New York.
- d. The Applicant shall clarify whether the infiltration testing was conducted following the prescribed testing methodology in Appendix D of the NYSDEC SMDM. The methodology requires the use of a 4 or 6-inch diameter solid casing, filled with 24-inches of water, and set at a depth of 2 feet below the anticipated bottom elevation of the proposed stormwater infiltration system.
  - i. The Applicant shall show the location of the infiltration tests on the plans.
  - ii. The Applicant shall submit infiltration testing results signed and sealed by a Professional Engineer licensed in the State of New York.
- e. The Applicant is required to provide pretreatment for the proposed infiltration systems in conformance with Chapter 6, section 6.3 of the NYSDEC SMDM. According to this section of the manual, the sizing of the pretreatment practice shall be based on the infiltration rate measured at the location of the proposed infiltration practice. Examples of acceptable pretreatment practices upstream of the stormwater infiltration practices include sedimentation basins, sump pits, grass channels, isolator rows, hydrodynamic separators, etc.
  - i. For infiltration rates between 0.5 inches/hour and 2 inches/hour, the Applicant is required to provide pretreatment storage for 25% of the WQv.
  - ii. For infiltration rates between 2 inches/hour and 5 inches/hour, the Applicant is required to provide pretreatment storage for 50% of the WQv.
  - iii. For infiltration rates greater than or equal to 5 inches/hour, the Applicant is required to provide pretreatment storage for 100% of the WQv.



- f. It appears from the provided detail that the proposed 2" wide gravel overflow strip for the Cultec Recharge 330XLHD units will provide additional inflow to the infiltration system. The Applicant shall demonstrate that the proposed systems are sized to handle the additional inflow. The Applicant may also consider an alternative overflow mechanism like a pop-up emitter to take credit for the full volume of the infiltration system.
  - g. The Applicant shall revise the provided detail for the infiltration basin to be consistent with the design requirements per the NYSDEC SMDM.
  - h. The Applicant shall revise the plans to show the roof drain connections to the proposed catch basins draining to the infiltration systems.
  - i. The Applicant shall revise the plans to show the connections from the proposed driveway and residence on Lot 3 to the infiltration system.
  - j. It appears from the plans that the proposed infiltration system on Lot 5 will be located in an area with natural slopes steeper than 15%. Based on the NYSDEC SMDM, the Applicant shall relocate the proposed infiltration system to an area with natural slopes no greater than 15%.
  - k. The Applicant shall show construction fence or alternative barrier markers surrounding the proposed infiltration practice footprint during construction to limit compaction from equipment tracking.
  - l. The Applicant shall add a note to the plans that states that any infiltration system shall be subject to inspection by the Principal Engineering Technician or Consulting Town Engineer prior to backfill.
  - m. The Applicant shall include manufacturer inspection and maintenance literature for the proposed subsurface infiltration chamber system and the infiltration basins as part of the SWPPP.
5. The Applicant shall clarify how the infiltration basin in Lot 8 and the infiltration basin in Lot 1 (which will treat the proposed Town Road extension and the Lot 1 driveway and residence) will be maintained over time.
  - a. Specifically, for the infiltration basin within Lot 1, the Applicant shall clarify how continued access will be provided to the system for maintenance (i.e. dedicated access road).
  - b. The Applicant shall provide alternative locations for the proposed infiltration basin on Lot 1 to provide easy access to the basin from the new Town Road extension.
6. The Applicant shall provide pipe capacity calculations for review. The Applicant shall also clarify pipe diameter, pipe material, and pipe inverts for all proposed drainage pipes.
7. The Applicant shall provide sizing calculations for the proposed rock outlet protection (100-year, 24-hour storm event) based on the NYS Standards and Specifications for Erosion and Sediment Control.



8. The Applicant shall provide an Erosion and Sediment Control (E&SC) plan which includes all proposed temporary E&SC practices and includes maintenance and inspection procedures of all proposed E&SC measures per the requirements of the NYS Standards and Specifications for Erosion and Sediment Control dated November 2016. The following comments are related to the E&SC plan:
- a. The Applicant shall provide a typical construction detail for orange construction fencing to be used on-site and shall show the location of the fencing on the plans.
  - b. The Applicant shall provide a silt fence detail and indicate the location on the plans.
  - c. The Applicant shall provide a soil stockpile detail and indicate the location on the plans.
  - d. The Applicant shall provide a stabilized construction entrance detail and indicate the location on the plans.
  - e. The Applicant shall provide an inlet protection detail and indicate the location on the plans.
  - f. The Applicant shall provide a concrete washout area detail and indicate the location on the plans.
  - g. The Applicant shall show the intended location of the equipment staging area on the plans.
  - h. The Applicant shall provide an erosion control matting detail for proposed disturbance on steep slope areas.
  - i. The Applicant shall secure a tree removal permit for the proposed project. The Applicant shall provide a tree survey.
  - j. The Applicant shall indicate which existing trees are proposed to be protected during development. The Applicant shall furnish a typical tree protection detail on the plans.
  - k. The Applicant shall provide inspection and maintenance requirements for all of the proposed temporary erosion and sediment control practices.
  - l. The Applicant shall include a note on the plan which states "All E&SC measures shall be installed and maintained per New York State Standards and Specifications for Erosion and Sediment Control, dated November 2016".
  - m. The Applicant shall include a note on the plans which states: "Site stabilization (80% uniform density of permanent vegetation or permanent mulch/stone) must be achieved prior to removing temporary erosion control measures."
  - n. The Applicant shall include a description of the proposed soil restoration procedures, consistent with Chapter 5 of the NYSDEC Design Manual on the plans.



5. The following comments correspond to the drawing sheets:
  - a. The Applicant shall include construction sequence notes describing construction activities. The construction sequence shall specify:
    - 1) Installation of erosion and sediment control practices prior to commencement of construction activities.
    - 2) All major construction activity milestones (i.e. demolition, minor and major site grading, removal of existing structures, etc.).
    - 3) Temporary erosion and sediment control measures cannot be removed until site stabilization (80% uniform density of permanent vegetation or permanent mulch/stone) has been achieved.
  - b. The Applicant shall include a table on the drawings that quantifies the existing and proposed impervious surface coverage for the project.
  - c. The Applicant shall quantify in a table on the plans the proposed cut/fill volumes (quantified in cubic yards) for the development.
  - d. The Applicant shall update the plans to depict the locations of any existing and proposed utilities (i.e., gas, electric, etc.).
  - e. The Applicant shall revise the plans to show protective markers or construction fence surrounding the proposed septic absorption field limits to prevent over-compaction by equipment tracking during construction.
  - f. The Applicant shall include a note on the plans which states: "Any imported topsoil shall comply with all federal, state, and local requirements for quality and use".
  - g. The Applicant shall include a note on the plans which states: "Off-site disposal of excess cut shall be in accordance with all federal, state, and local requirements."
  - h. The Applicant shall provide a landscaping plan for landscape screening between the Town Road extensions and the proposed developments for review and acceptance by the Consulting Town Engineer. The landscaping plan shall include multiple rows of select landscape plantings and must incorporate provisions for maintenance and replacement of deceased plantings.
  - i. The Applicant shall revise Drawing S-1 to show the percentage breakdown for the Hydrologic Soil Groups B and C coverages.
  - j. The Applicant shall revise the invert elevations of CB-12 on Drawing RP. The invert out is higher than the invert in.
6. The Applicant shall provide bottom of wall and top of wall spot elevations for the proposed retaining wall. If the retaining wall is greater than 4 feet, prior to issuance of a building permit, the Applicant shall provide signed and sealed calculations for review.
7. The Applicant shall provide a contractor certification statement.



8. The Applicant shall provide a Stormwater Management and Erosion and Sediment Control application for review.
9. The Applicant shall furnish a copy of NYCDEP approval for the proposed septic system.
10. The Applicant shall furnish a copy of NYCDEP SWPPP approval.
11. The Applicant shall furnish a copy of the Westchester County Department of Health (WCDOH) approval of the new septic system.
12. The Applicant shall furnish a copy of the WCDOH approval of the new wells.
13. It appears that the Applicant is proposing some disturbance of the Town Regulated steep slopes to develop the proposed new driveways and Town Road extensions. The Applicant shall update the plans to indicate the quantity of steep slopes that will be disturbed due to the proposed development and contain all notes describing restrictions on disturbance, erosion and sediment control and enhanced stabilization measures as required by Town Code §148.
14. The Applicant has provided a Full Environmental Assessment Form (FEAF) with this submission. The following revisions shall be made to the form:
  - a. The Applicant shall revise Section B.b. of the FEAF to include all the local environmental permits that will be required.
  - b. The Applicant shall revise Section D.1.d.iv. of the FEAF to indicate the minimum and maximum proposed lot sizes.
  - c. The Applicant shall revise Section D.2.c of the FEAF to include maximum pumping capacity for the proposed wells.
  - d. The Applicant shall provide the basis for the 4,000-5,000 gallons per day estimates for anticipated water usage/demand and the anticipated liquid waste generation.
  - e. The Applicant shall revise Section E.1.b. of the FEAF to ensure that the total acreage after project completion is equal to the total acreage during existing conditions.
  - f. The Applicant indicate how the average depth to bedrock on the project site was determined for Section E.2.a. of the FEAF.
15. The Applicant shall identify if rock removal is anticipated during construction of the proposed site plan. In the event that rock removal is expected, the Applicant shall describe the intended methodology of rock removal and provide estimates of rock quantities and duration of removal activities.
16. The provided drawings do not illustrate the installation of exterior site lighting. The Applicant shall update the plans to include detail of proposed exterior lighting fixtures, if proposed to be installed. The Applicant shall provide lighting plans and specifications for consideration of the Planning Board.





17. The Applicant shall prepare draft Stormwater Maintenance Agreements, in accordance with the provisions of Town Code for review by the Consulting Town Engineer & Town Attorney. Upon acceptance, the Stormwater Maintenance Agreement shall be filed with the Westchester County Clerk's Office.

Please feel free to contact our office with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to be "Alvaro Alfonzo-Larrain".

Alvaro Alfonzo-Larrain, P.E., MEng  
Assistant Consulting Town Engineer

On behalf of,

A handwritten signature in black ink, appearing to be "Joseph C. Barbagallo".

Joseph C. Barbagallo, P.E., BCEE  
Consulting Town Engineer